

## CARPORTS - VERANDAH/PATIOS - PERGOLAS

### (Class 10a Construction)

This publication's intention is to provide general information only. Exemption from requiring a Building Permit does not exempt compliance with the Building Code of Australia (BCA), Australian Standards, Local Laws, Planning (Development) Approvals and Conditions, Governing Legislation and Statutory Provisions.

**Note:** The applicant/builder is responsible for obtaining all necessary approvals, consents, and licenses required by law.

**Carport - Class 10a** - A carport is defined as "an open-sided structure that is designed or adapted to be primarily used for sheltering one or more vehicles (i.e., a non-habitable building such as a garage or shed)." No exemptions exist for attached carports from the Building Permit approval process, although an exemption does exist for *some* free-standing Class 10a structures, only through meeting all specific criteria listed below.

*Building Regulations 2012 - Schedule 4 - cl.2(1)*

A Building Permit exemption exists for the construction, erection, assembly, or placement of a free-standing Class 10a building (garden shed, deck, gazebo etc.) that —

- (a) is no more than 2.4 m in height; and
- (b) is not located in wind region C or D as defined in AS 1170.2; and
- (c) covers an area not exceeding 10 m<sup>2</sup>.

**Verandah/Patio - Class 10a** - A verandah is defined as "a roofed structure that is attached to a building and is open on at least one side, that forms part of the building, and that provides outdoor living space or shelter." No exemptions exist for verandahs or patios from the Building Permit approval process.

**Pergola - Class 10a** - A pergola or shade sail structure, is typically considered to be an outdoor free-standing structure that consists of columns or posts that support an unenclosed roof (no cladding) or latticework. Some exemptions from the Building Permit application process exist for pergolas, only through meeting all specific criteria listed below (this includes Shade Sail structures).

*Building Regulations 2012 - Schedule 4 - cl.2(7)*

A Building Permit exemption exists for the construction, erection, assembly, or placement of a pergola associated with a Class 1 building that —

- (a) is no more than 2.4 m in height; and
- (b) is not located in wind region C or D as defined in AS 1170.2; and
- (c) covers an area not exceeding 20 m<sup>2</sup>.

**NOTE:** Under the *Building Act 2011* and *Building Regulations 2012*, all the abovementioned structures, whether a Building Permit is required or not, must comply with all relevant Australian Standards, inclusive of all National Construction Code (NCC) requirements for structural integrity, fire safety, ventilation, health and amenity and access.



# General Information and Checklist Requirements for Building Approval

## BUILDING ACT 2011 FEES, BUILDING SERVICES LEVY and BCITF PAYMENTS

### **BA1** - Certified application for a building permit (s.16(1))

- The fee is 0.19% of the estimated value of the building work, **but not less than \$110.00.**

### **BA2** - Uncertified application for a building permit (s.16(1))

- The fee is 0.32% of the estimated value of the building work, **but not less than \$110.00.**

### **Building Services Levy** - Building Permit Application Levy

- The levy is 0.137% of the estimated value, **but not less than \$61.65.**

### **Building Construction Industry Training Fund (BCITF)** - For all work \$20,000 and above in total value

- The BCITF Levy is calculated at 0.2% of the total value of construction for all works with an estimated value of more than \$20,000.

Payment is required to be made prior to issuing of the building permit and any construction works commencing.

**Note:** An application for building permit must be signed by the builder. Buildings with an estimated constructed value greater than \$20,000 must be constructed by a registered builder OR an owner-builder with a current approval from the Building Services Board.



# General Information and Checklist Requirements for Building Approval

## CHECKLIST

### BUILDING PERMIT APPLICATION MINIMUM REQUIREMENTS

1.	<b>Form BA1 (Certified) or Form BA2 (Uncertified)</b> <ul style="list-style-type: none"><li>Completed and signed Form BA1 – (Certified) or Form BA2 (Uncertified), to be signed by each owner of the land, unless exempt.</li><li>Accurate estimated value of building work (including GST) on the Building Permit Application Form (<i>Building Regulations 2012 Schedule 1, Clause 1, 2 and 3</i>).</li><li>Registered Builder's Details (if over \$20k) – Builder must provide their registration number.</li><li>Builder's Details – Builder must sign the Building Permit Application Form.</li></ul>	<input type="checkbox"/>
2.	<b>Construction Training Fund Levy Form (CTF)</b> <ul style="list-style-type: none"><li>Completed Construction Training Fund Levy Form (CTF) if works exceed \$20,000 or CTF receipt or proof of pre-payment.</li></ul>	<input type="checkbox"/>
3.	<b>Building Permit Application Fee</b> <ul style="list-style-type: none"><li>Building Permit Application Fee plus associated State levies must be paid at time of lodgement of the application (Refer to the <a href="#">Building Act Fees</a>).</li></ul>	<input type="checkbox"/>
4.	<b>Owner-Builder Approval / Certificate (if applicable)</b> <ul style="list-style-type: none"><li>Owner-Builder Approval / Certificate from the Building Services Board (Department of Mines, Industry Regulation and Safety) if works exceed \$20,000.</li></ul>	<input type="checkbox"/>
5.	<b>Planning/Development Approval</b> <ul style="list-style-type: none"><li>Planning Approval or written advice issued by the Shire of Denmark Planning Department for the proposed development (if applicable).</li></ul>	<input type="checkbox"/>
6.	<b>This Completed Checklist – Outbuildings: Carport, Patio, Pergola etc.</b>	<input type="checkbox"/>
7.	<b>Site Plan (1:200 scale), including:</b> <ul style="list-style-type: none"><li>Street names, lot number, and title reference to the site.</li><li>The size and shape of the site including property boundaries, their dimensions, and existing buildings and structures to be clearly shown.</li><li>Soil Classification.</li><li>Wind Rating.</li><li>A feature / contour survey of the property showing a datum point, contour lines (500mm intervals), spot levels and relative levels of the site.</li><li>The proposed finished floor level to the new outbuilding including ground levels to be shown.</li><li>Setback distances from the property boundaries to the proposed outbuilding and distance away from other existing buildings / structures on the property to be clearly indicated.</li><li>Height and extent of proposed earthworks - if applicable.</li><li>Existing sewer connections or septic system, stormwater drains or easement locations.</li><li>Location and sizes of stormwater drain / disposal system.</li><li>Location and heights of stabilised embankments or retaining wall/s – if applicable.</li><li>Clearly indicate the North point.</li></ul>	<input type="checkbox"/>



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8.	<b>Elevations (minimum scale 1:100)</b> <ul style="list-style-type: none"><li>• All elevations.</li><li>• Existing ground level at the wall and at the boundary, including proposed ground (NGL) and finished floor levels (FFL).</li><li>• Roof pitch.</li></ul>	<input type="checkbox"/>
10.	<b>Cross Sectional View (minimum scale 1:50)</b> <ul style="list-style-type: none"><li>• One or more sections, transverse, longitudinal.</li><li>• Finished ground level.</li><li>• Type of subfloor structure e.g., concrete footing and slab or frame.</li><li>• Height of ceiling.</li><li>• Roof frame details (rafter/batten size and spacing).</li></ul>	<input type="checkbox"/>
11.	<b>Footings and / or Slab Details</b> <ul style="list-style-type: none"><li>• Concrete specifications.</li><li>• Depth and type of footing including dimensions.</li><li>• Reinforcement size and location.</li><li>• Slab thickness (if applicable).</li><li>• Waterproof membrane information.</li></ul>	<input type="checkbox"/>
12.	<b>Detailed Plans and Specifications</b> <ul style="list-style-type: none"><li>• Material schedule</li><li>• Member lengths, dimensions, and type</li><li>• Span lengths</li><li>• Hardware and fixings</li><li>• Connection details</li><li>• Evidence of compliance with all relevant Australian Standards and the National Construction Code.</li></ul>	<input type="checkbox"/>

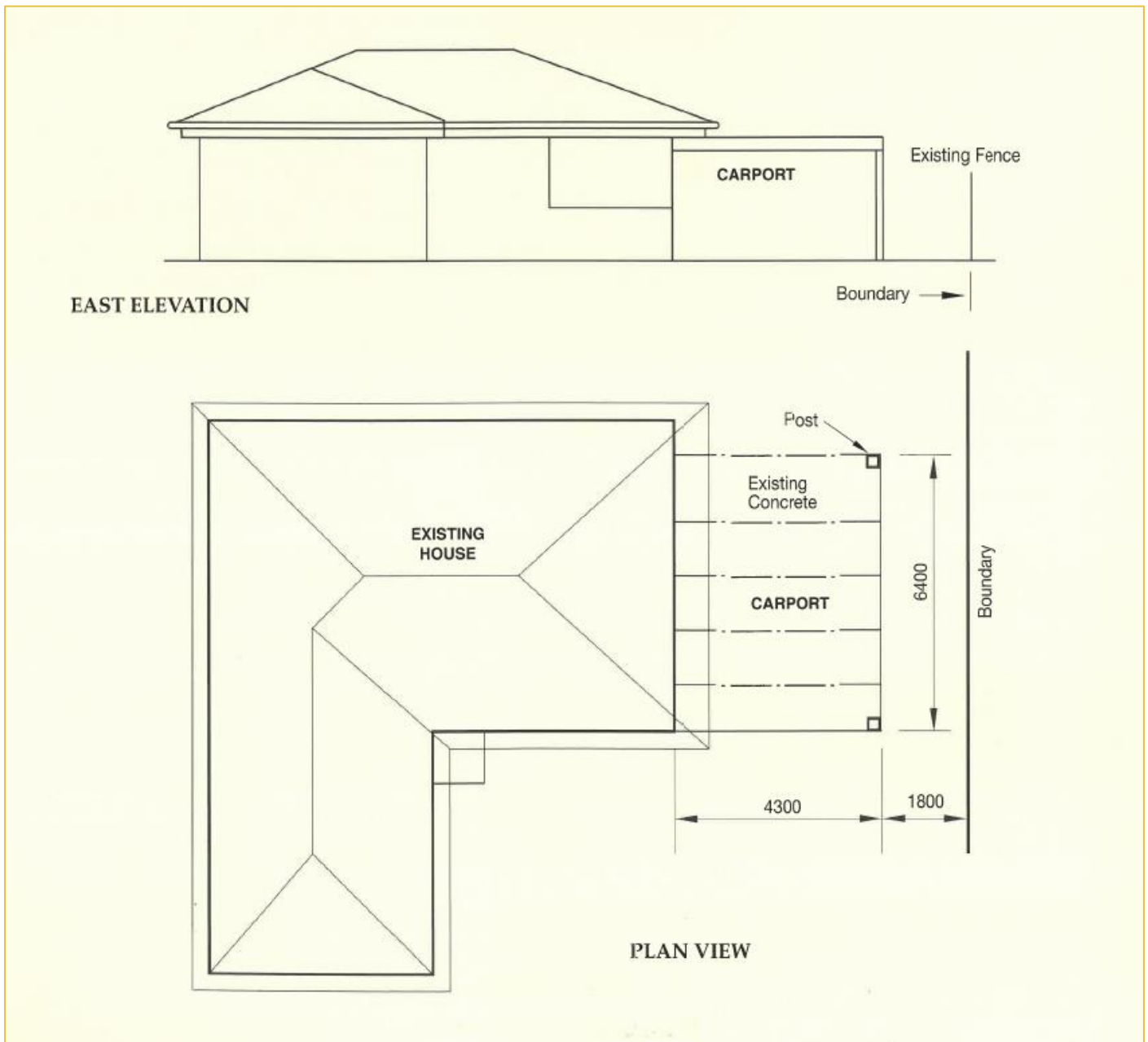
## STRUCTURAL DETAILS

**General note:** Your plans, details and specification must meet the requirements of the Deemed to Satisfy provisions of the Building Code of Australia (BCA). When required by the Building Surveyor, a complete set of detailed drawings covering the structural members signed by a registered/practising structural engineer may be requested.

*This document is intended as a guide only to assist applicants. For any further information please contact the Shire of Denmark. Please note, additional information may be requested upon assessment of your application.*



## EXAMPLES OF REQUIRED CONSTRUCTION DETAIL



**Figure 1 - Example of Elevation, Boundary Setback and Plan View**



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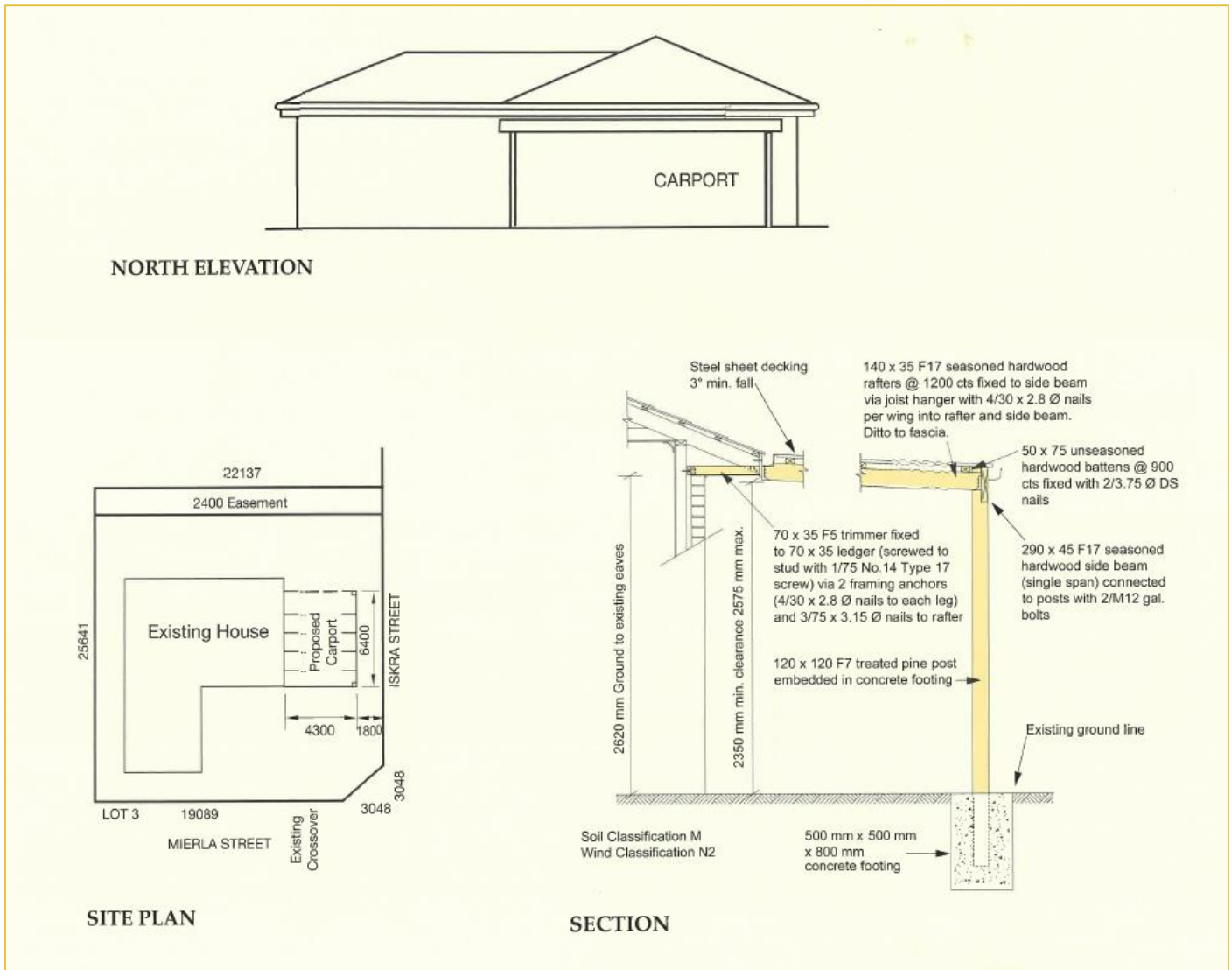


Figure 2 - Example of Section View, Footing Detail, Elevation and Site Plan



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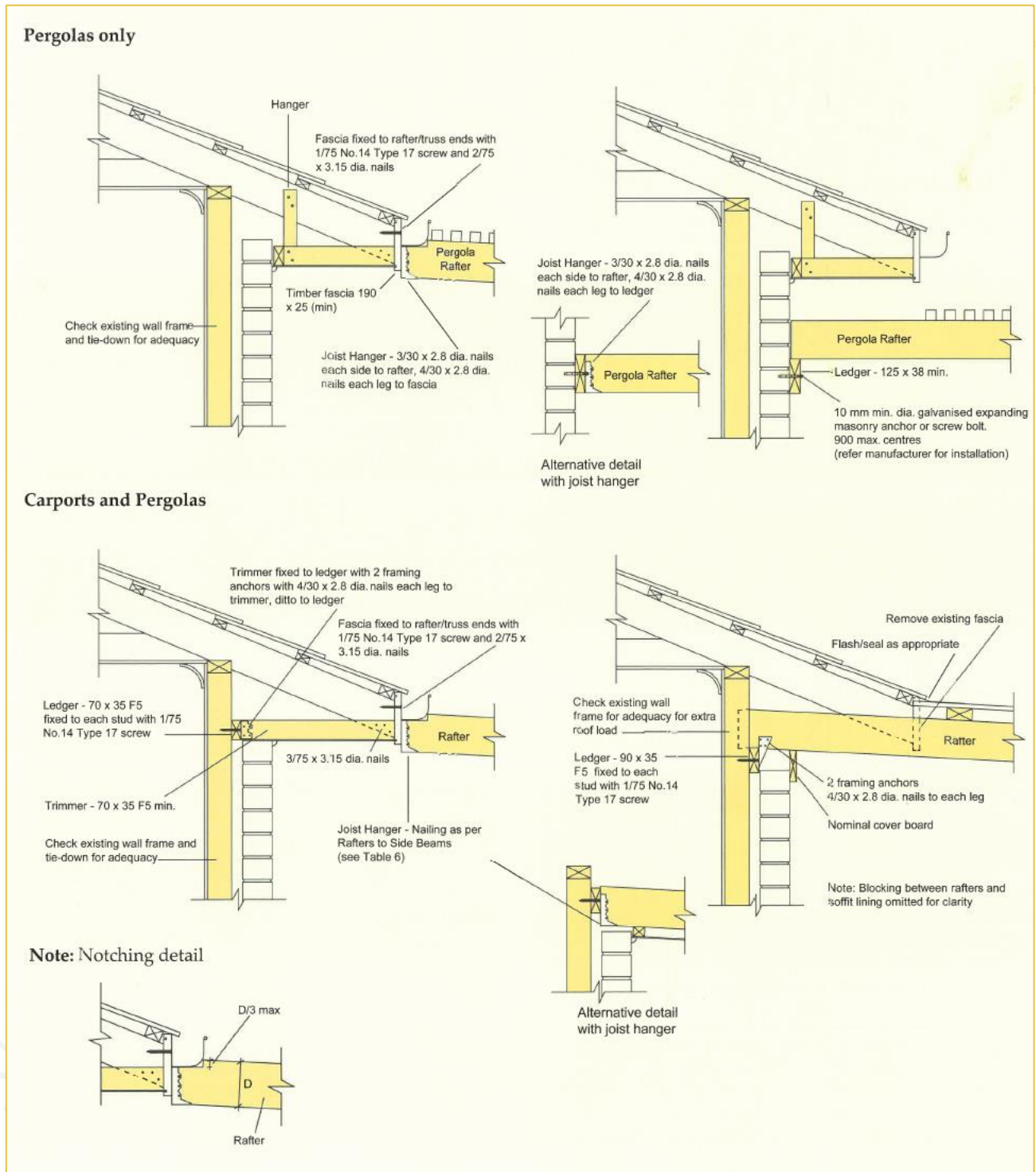


Figure 3 - Example of Required Connection Detail for Fixed (Not Freestanding) Structures

