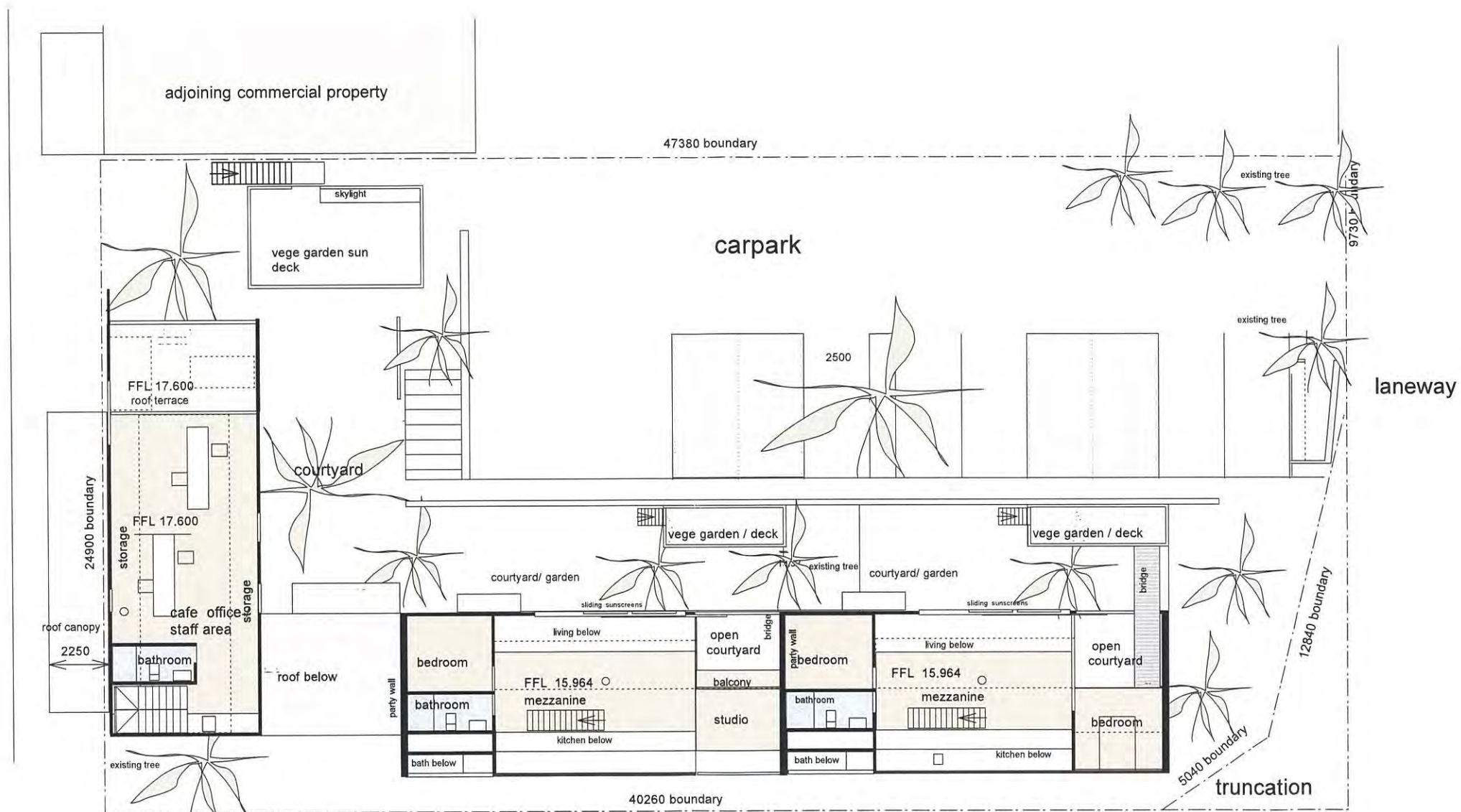


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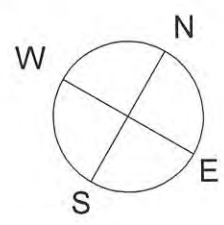
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first floor plan

2 storey residential unit 1

2 storey residential unit 2



laneway

embankment

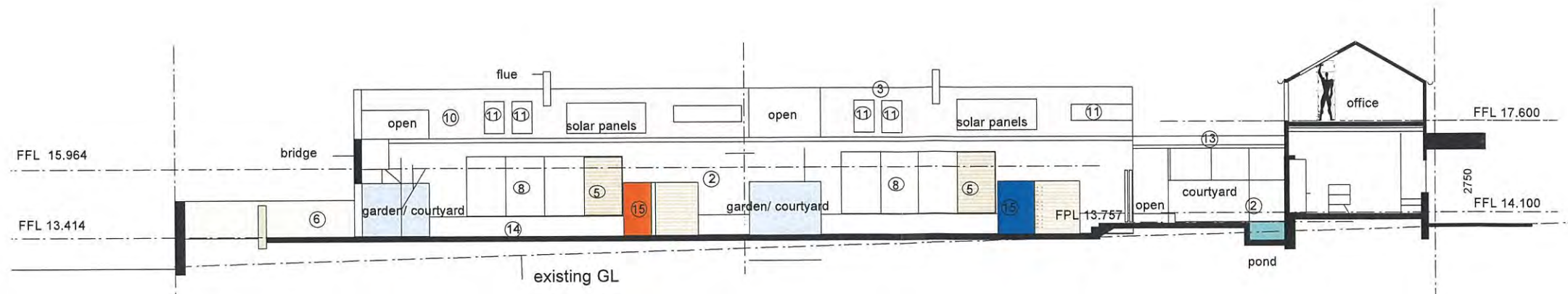
barnett street

proposed development 89
strickland street denmark

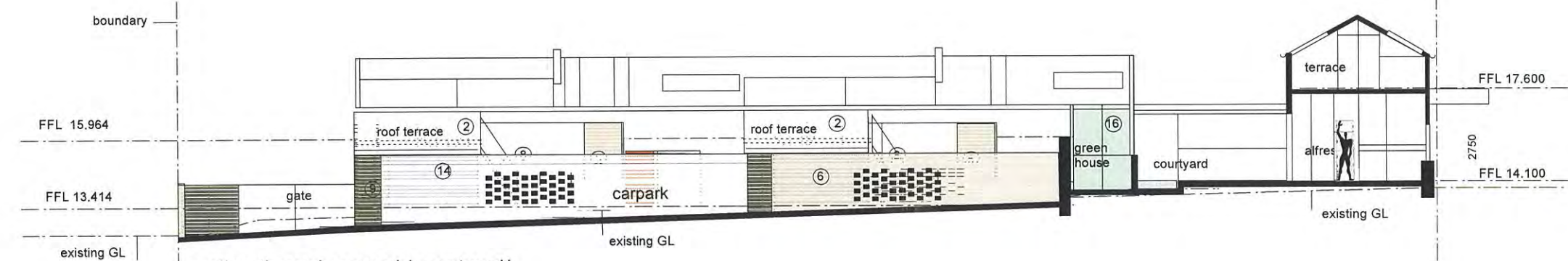


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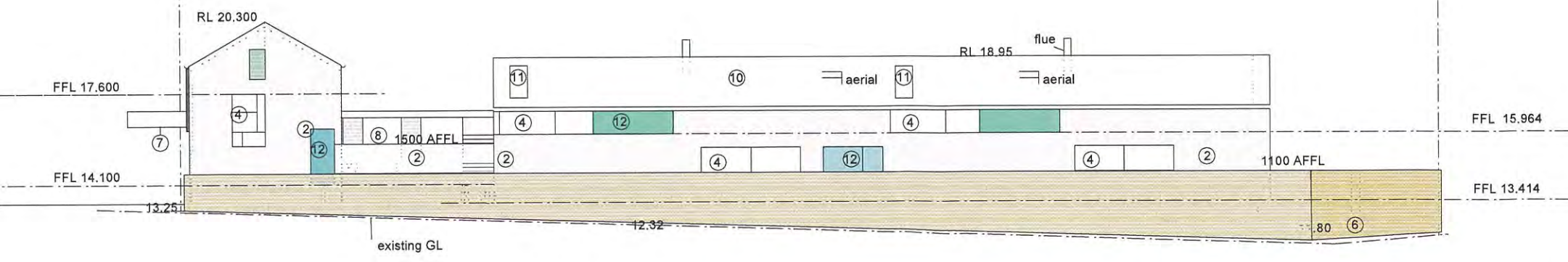
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north elevation residential



section through carpark/ courtyard/ cafet terrace / north -west elevation residential



south east elevation



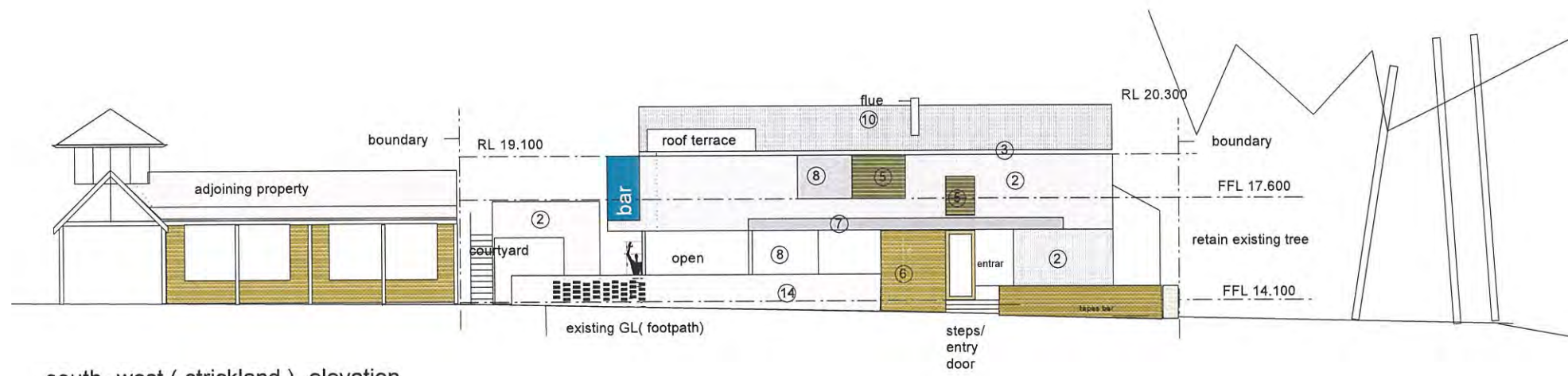
key

- 1 rendered masonry
- 2 painted CFC sheet
scyon axon vertical lining board
- 3 zinalume 1/2 round gutter
- 4 natural anodised windows
- 5 metal louvre sun/ fire proection (with mesh backing)
- 6 face brickwork
- 7 painted steel
- 8 charcoal metal windows
- 9 vertical metal deck / colour warm grey / charcoal
- 10 zinalume customorb roof at 30 deg
- 11 skylight
- 12 painted metal fire shutter / door
- 13 zinalume roof at 2 deg
- 14 painted common brick / part
- hit & miss
- 15 paint finish
- 16 toughened glass

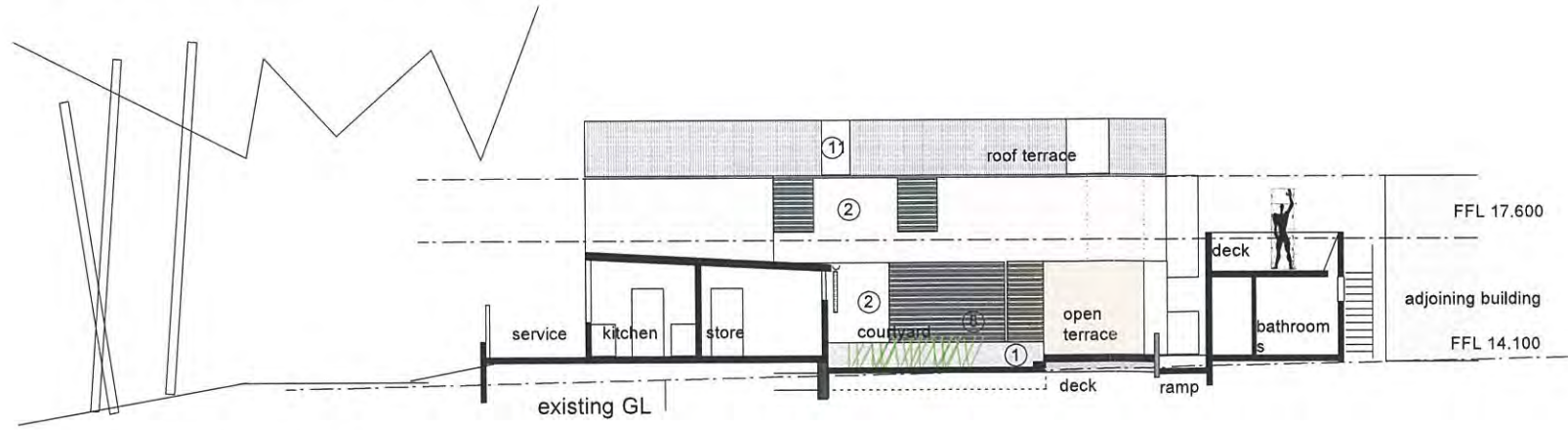
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scale 1/200



south- west (strickland) elevation



north east elevation cafe/
section through courtyard

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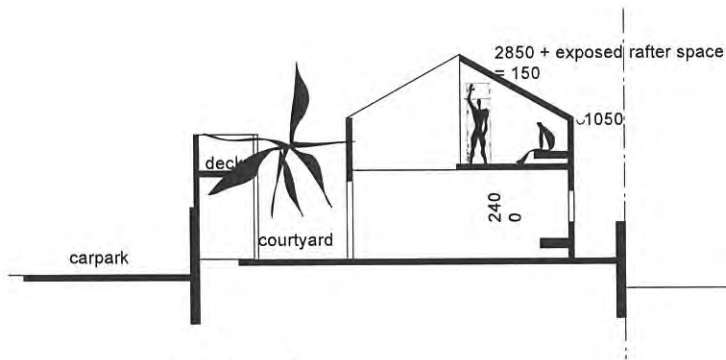
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- 14 zincalume roof at 2 deg
- 15 painted common brick / part
- 16 hit & miss
- 17 paint finish
- 18 toughened glass

proposed development 89
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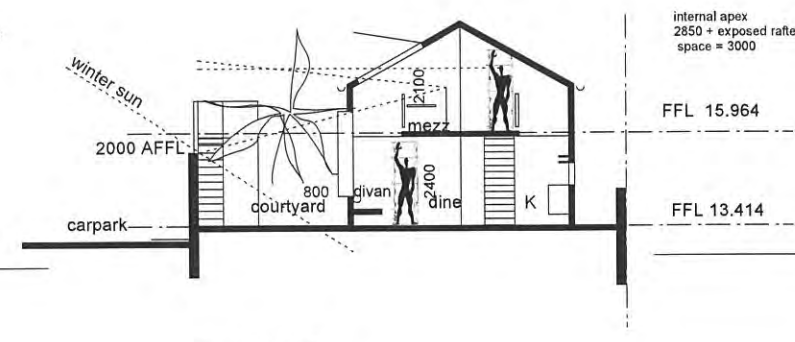
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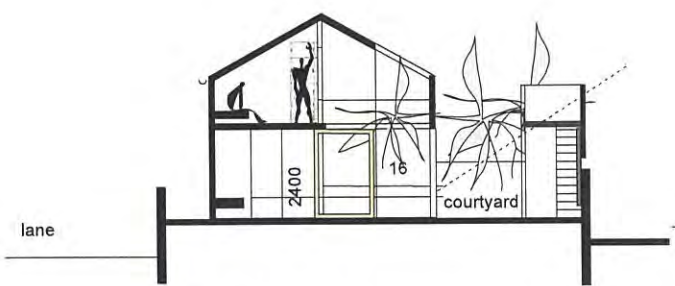
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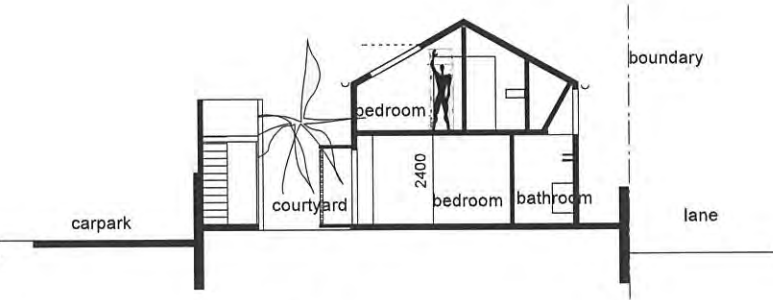
section A



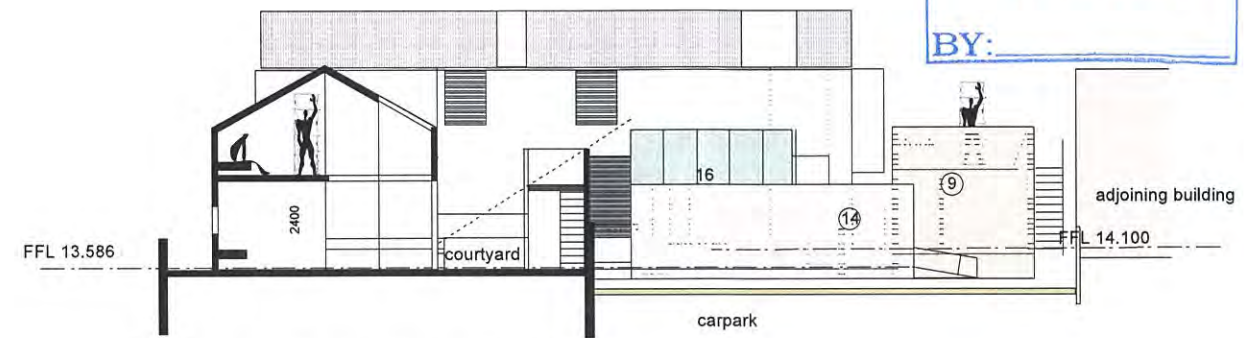
section B



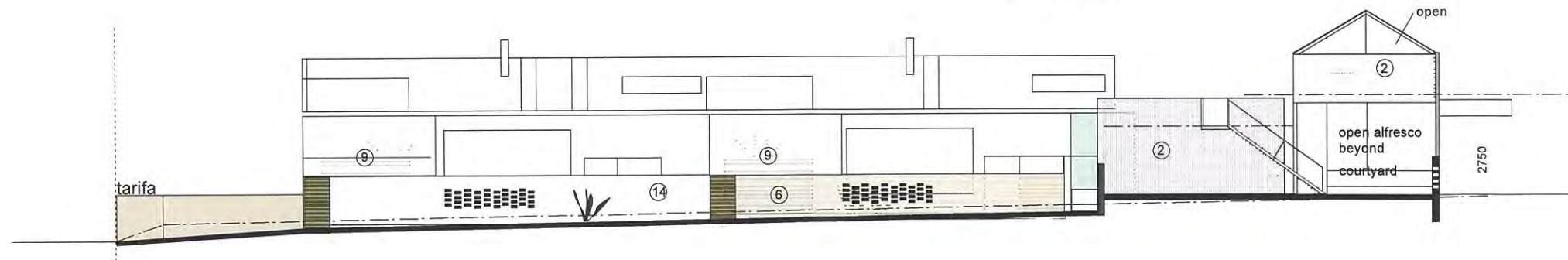
section D / house 1



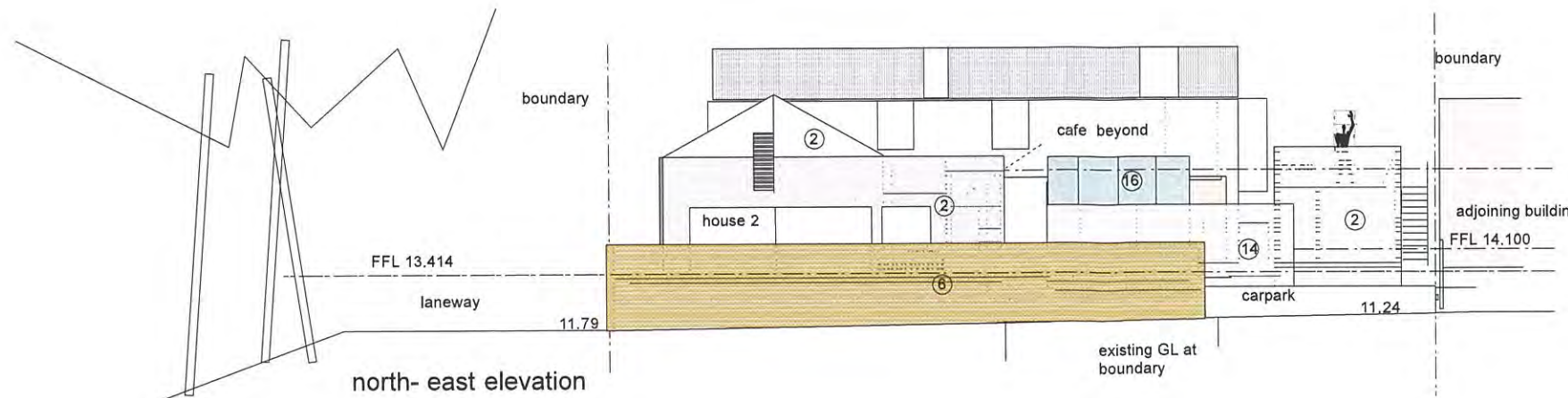
section C



section D through internal residential and carpark



north-west elevation



north-east elevation

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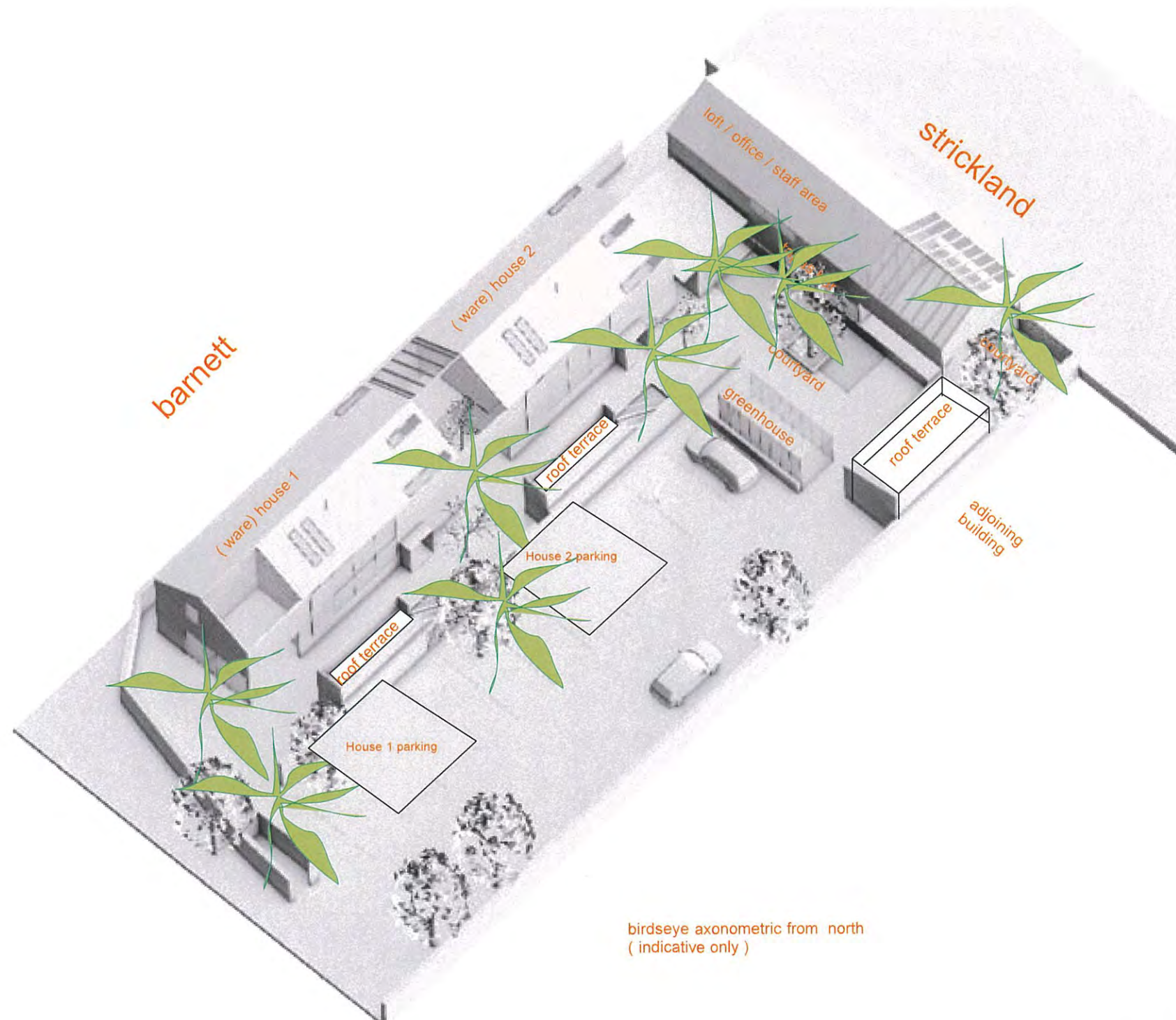
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SD .06



birdseye axonometric from north
(indicative only)

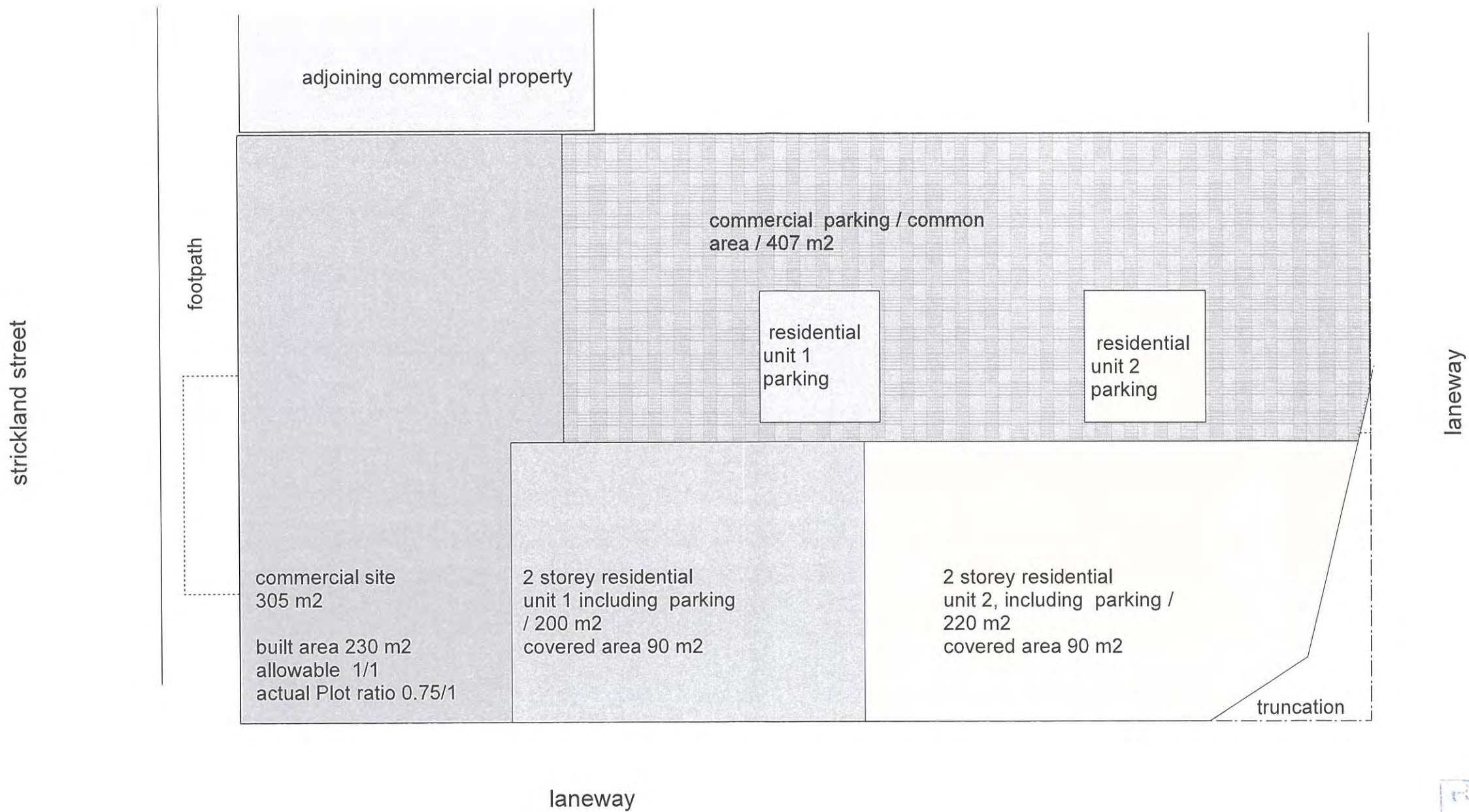
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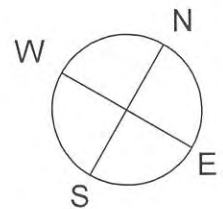
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strata subdivision
lot area 1132 m2

barnett street

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development 89 strickland street denmark

design report

site planning

commercial

- 1 Café / bar space alligns with and addresses strickland street
- 2 Follows the pattern set further north along the street where space adjacent to the street has been created for outdoor sitting amid landscaped areas
- 3 Setback from the south-west bounday to allow sight-lines across this corner
- 4 Parking area has been set out along the northern side of site to give direct access to residential and commercial activities. The buildings screen the carpark from both streets
- 5 Building and external courtyards are located in order to take advantage of direct sunshine during cooler months
- 6 Access via maximum 1/14 ramps to all areas. General access in accordance with AS 1428/ 2009
- 7 Escape routes from buildings to future detail
- 8 Bathroom/ toilet facilities to north of bar/café courtyard with deck over for growing herbs/ vegetables

residential

- 1 Once again these are planned in order to gain access to direct sunshine
- 2 Outdoor areas are adjacent to living areas and to north side for winter sun penetration. Minimum width 4000
- 3 The garden/ courtyard to north acts a buffer to carpark
- 4 Store / deck elements provide sunny areas for growing vegetables and increase separation between public and private
- 5 A long masonry retaining wall to south contains the site on this edge . The level differnce here provides security to residential part
- 6 Entry off the carpark is via a gate and covered entry under store/ deck
- 7 Carparking is immediately adjacent and to north of respective houses
- 8 Buildings do not overlook adjacent private residential outdoor areas

streetscape

- 1 On strickland the bar/ café the building has been kept to a relatively low 2 storey scale . Internally ceiling heights have been proportioned to give high volume to the ground floor and lower attic/ loft type space to the upper floor
- 2 The 2 storey building bookends the street something like the 2 storey building on the sw hwy corner of strickland
- 3 The barnet street elevation is 1 & 1/2 storey in scale; with the second level partailly tucked under the roof. Here the scale is mediated by the long retaining wall
- 4 Material selection reflects the typical pallette of surrounding area : zinalume, timber, painted fibrous cement & brickwork
- 5 The building forms are similar to various shed like gabled forms prevalent in the vicinity

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urban context

- 1 Given that this area is rather quiet , particularly after 5 pm , we believe the café / bar will provide a bit of life (albiet low key) at the southern end of strickland street
- 2 The intention is that the bar/ cafe be in the spanish tapas bar tradition where srevice is provided all day : cafe in the morning, bar after 4pm where the consumption of alcohol and snack style food go hand in hand . It is intended to be a social venue for local people to congregate, socialise and promote local culture .
- 3 The pattern of building is compatible with existing building along strickland, that is: providing a mixture of internal building ares / outdoor courtyard / covered areas and covered pavement areas
- 4 The residential component is consistent with a need to provide accomodation within the inner town area and hence afterhours activity and surveillance

sustainability

- 1 All building are designed for passive solar gain
- 2 Roof forms lend themselves to solar panel instalation
- 3 All walls and roofs are insulated to 6 star minimum
- 4 All buildings have direct cross ventilation
- 5 All building materials are recyclable
- 6 Building materials with high embodied enery are kept to a minimum
- 7 The project has no impact or overshadow on adjoining sites
- 8 Windows generally to be double glazed
- 9 Construction incorporates building mass (concrete slabs / internal brickwork) for diurnal teperature control

landscaping

- 1 The outdoor areas form a series of habitable courtyards
- 2 Where possible existing trees have been retained
- 3 All courtyards employ ground covers and low planting, combined with a variety of mature trees ; deciduous where appropriate
- 4 Verge area to southern laneway to be landscaped with native ground covers and small trees

technical / construction

- 1 BAL rating assumed BAL 29 to be confirmed
- 2 All construction facing barnett to be treated as per AS 3959 requirements
- 3 To conform with AS and BCA requirements

Public art

- 1 A display area on the side of northern entry courtyard and in the bar entry area provide an opportunity for local artists to display their work
- 2 The courtyards will incorporate sculpture by local artists

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density

- 1 *commercial site*
305 m2

built area 230 m2
allowable 1/1
actual Plot ratio 0.75/1
- 2 *residential site 1*
2 storey residential
unit 1 including parking / 200 m2
covered area 90 m2 = 45 %
- 3 *residential site 2*
2 storey residential
unit 2, including parking / 220 m2
covered area 90 m2 =41 %

carparking

- 1 Commercially café / small bar has patron habitable space of 32 m2
- 2 6 bays are provided ,including one disabled bay
- 3 On the basis of 1 bay / 4 persons, a total of 8 bays are required
- 4 There are no other commercial activities on site / note the first floor area above bar is for storage & the use of the bar and administration staff
- 5 Each residential housing unit has 2 dedicated parking bays
- 6 Parking is accessed off the rear laneway . All manoeuvring is contained within the site

servicing

- 1 A bin /washdown area has been provided at the eastern end of carpark
- 2 A loading bay has been provided in the main carpark with ramp access to cafe/ bar kitchen
- 3 A screened service area behind kitchen caters for storage of small bins and external storage
- 4 All vehicle access from the rear laneway
- 5 Bathroom facilities provided to bar/café comply with liquor and gaming requirements
- 6 Kitchen store to future detail to conform to health act & liquor and gaming requirements
- 7 Ambulant and disabled bathroom facilities provided to commercial area

Tables

Table 1: General site requirements for all single house(s) and grouped dwellings; and multiple dwellings in areas coded less than R40

1 R-Code	2 Dwelling type	3 Minimum site area per dwelling (m ²) ◆	4 Minimum lot area/rear battleaxe (m ²) ▼	5 Minimum frontage (m) ▼	6 Open space		7 Minimum setbacks (m)		
					min total (% of site)	min outdoor living (m ²)	primary street	secondary street ●	other/rear
R2	Single house or grouped dwelling	Min 5000	-	50	80	-	20	10	10
R2.5	Single house or grouped dwelling	Min 4000	-	40	80	-	15	7.5	7.5
R5	Single house or grouped dwelling	Min 2000	-	30	70	-	12	6	*/6
R10	Single house or grouped dwelling	Min 875 Av 1000	925	20	60	-	7.5	3	*/6
	Multiple dwelling	1000	-	-	60	-	7.5	3	*/6
R12.5	Single house or grouped dwelling	Min 700 Av 800	762.5	17	55	-	7.5	2	*/6
	Multiple dwelling	800	-	-	55	-	7.5	2	*/6
R15	Single house or grouped dwelling	Min 580 Av 666	655	12	50	-	6	1.5	*/6
	Multiple dwelling	666	-	-	50	-	6	1.5	*
R17.5	Single house or grouped dwelling	Min 500 Av 571	587.5	12	50	36	6	1.5	*
	Multiple dwelling	571	-	-	-	-	6	1.5	*
R20	Single house or grouped dwelling	Min 350 Av 450	450	10	50	30	6	1.5	*
	Multiple dwelling	450	-	-	50	-	6	1.5	*
R25	Single house or grouped dwelling	Min 300 Av 350	425	8	50	30	6	1.5	*
	Multiple dwelling	350	-	-	50	-	6	1.5	*
R30	Single house or grouped dwelling	Min 260 Av 300	410	-	45	24	4	1.5	*
	Multiple dwelling	300	-	-	45	-	4	1.5	*
R35	Single house or grouped dwelling	Min 220 Av 260	395	-	45	24	4	1.5	*
	Multiple dwelling	260	-	-	45	-	4	1.5	*
R40	Single house or grouped dwelling	Min 180 Av 220	380	-	45	20	4	1	*
R50	Single house or grouped dwelling	Min 160 Av 180	380	-	40	16	2	1	*
	Multiple dwelling	180	-	-	40	16	2	1	*
R60	Single house or grouped dwelling	Min 120 Av 150	380	-	40	16	2	1	*
R80	Single house or grouped dwelling	Min 100 Av 120	380	-	30	16	1	1	*
	Multiple dwelling	120	-	-	30	16	1	1	*

Legend

- ◆ subject to variations permitted under clause 5.1.1 C1.4
- ▼ only applies to single houses
- secondary street: includes communal street, private street, right-of-way as street
- indicated not applicable
- * see Tables 2a and 2b and clause 5.1.3
- Av. average site area

All standards for single house or grouped dwellings within R100, R160 and R-AC areas are as for the R80 Code