

mjba /

**project bar/ lot 1 / 89 strickland street
denmark WA**

to Planning dept Shire of Denmark

We wish to submit for revised DA ,
with the following revisions .

- 1 To roof terrace enclosure to NE side
: window deleted / timber louvres
added.

Note the alfresco roof to
neighbouring house obscures views
into houses' courtyard

- 2 Glasshouse deleted from roof
terrace over public bathrooms,
storeroom added .

Note the store has been setback
from SW and NE parapets, , while
pitching point is below parapet
height, in order to reduce its visual
impact

- 3 Can you also remove item (f) , see
below , from conditions , referring to
max number of patrons, as this is
now no longer applicable . Maximum
number to ground floor & roof
terrace should be 90 as per council
assessment and liquor licence
see excerpt of conditions next page

continued

note We have submitted DA form signed
by owner of lot1 / 89 strickland
On bar DA revision, see attached
revised drawing showing revisions

Voting Requirements:
Simple majority.

COUNCIL RESOLUTION & OFFICER RECOMMENDATION
MOVED: CR GIBSON

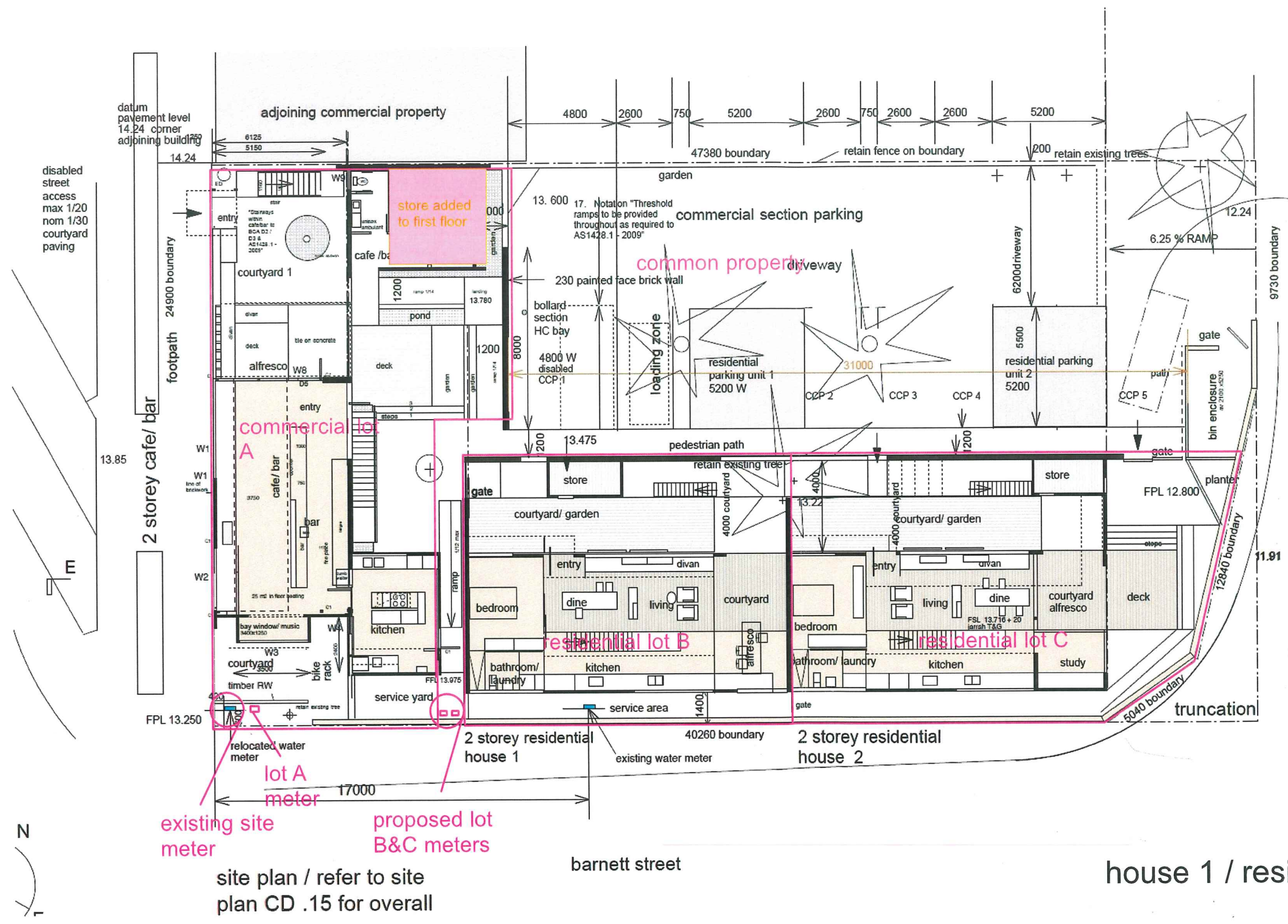
ITEM 8.1.4
SECONDED: CR CARON

That with respect to the development application for the proposed Small Bar/Restaurant and Two x Grouped Dwellings on No. 89 (Lot 34) Strickland Street, Denmark, Council:

1. Determine, as per Clause 5.3.3 of Town Planning Scheme No.3, that the appropriate density code to apply for residential development requirement purposes for the subject site is "R40".
2. Grant development approval subject to the following:

Conditions

- a) The development shall be carried out and fully implemented in accordance with the stamped approved plans dated 5 April 2018 and schedule of materials dated 8 January 2018.
- b) The "Additional Street Parking" as shown within Strickland Street does not form part of this approval (refer Advice Note i).
- c) The Alfresco Dining shown within Strickland Street does not form part of this approval (refer Advice Note ii).
- d) The residential component of the development to be constructed to Australian Standard 3959 – *Construction of Buildings in Bushfire Prone Areas (BAL-40)*.
- e) Fencing treatment between the grouped dwellings and common property area is to demonstrate that surveillance of the pedestrian approach to the Grouped Dwellings is achieved by incorporating a visually permeable component to the satisfaction of the Shire of Denmark (Planning Services).
- f) Seating occupancy for the small bar/restaurant component of the development being limited to 32 persons (refer Advice Note iii).
- g) Prior to issuance of a Building Permit, additional details are to be approved for proposed walls/screening treatments on the commercial vegetable garden sun deck and such works thereafter implemented to the satisfaction of the Shire of Denmark (Planning Services).



disabled street access max 1/20 nom 1/30 courtyard paving

datum pavement level 14.24 corner adjoining building

adjoining commercial property

footpath 24900 boundary

2 storey cafe/ bar

FPL 13.250

lot A meter

site plan / refer to site plan CD .15 for overall

proposed lot B&C meters

barnett street

2 storey residential house 1

40260 boundary

2 storey residential house 2

house 1 / residential lot B

commercial section parking

common property

commercial lot A

residential lot B

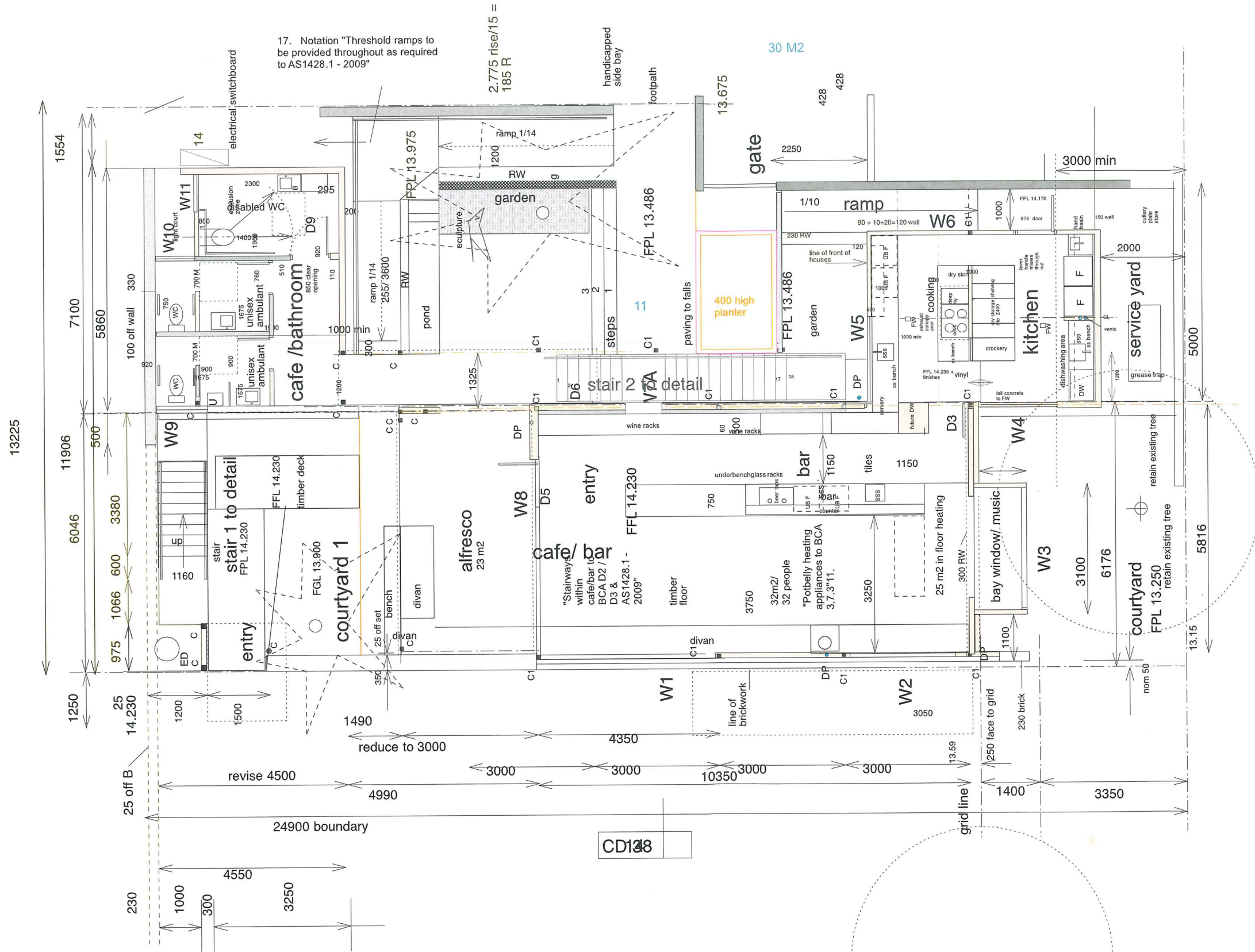
residential lot C

revisions 28/07/2022

planter revised / rear courtyard

RECEIVED
17 AUG 2022
Shire of Denmark

<p>proposed store addition 89 strickland street denmark</p>	<p>mjba 14 shoal bay retreat big grove albany 6330 0407443836 e mjba2arch@westnet.com.au</p>	<p>date 3/12/2021</p>
	<p> </p>	



17. Notation "Threshold ramps to be provided throughout as required to AS1428.1 - 2009"

general notes

- "Wet areas to BCA F1.7"
- accessible and ambulant sanitary compartments to As1428.1 -2009
- FRL 90/90/90 cavity brickwall
2x 110 brickwork
- "Gutters & downpipes installed to BCA 3.5.2"12.
- "Termite barrier to BCA & AS3660.1 - 2014"
- "Wet areas to BCA F1.7"
- swinging doors to comply with bCA D2.20 and operation of latches to D2.21
- "Wet areas to BCA 3.8.1 & AS3740"13.
- "Storm water to comply with AS3500, BCA & LG requirements"
- "Dwelling separating wall to BCA 3.7.1.8"
- Portable fire extinguishers to BCA E1.6" / to kitchen

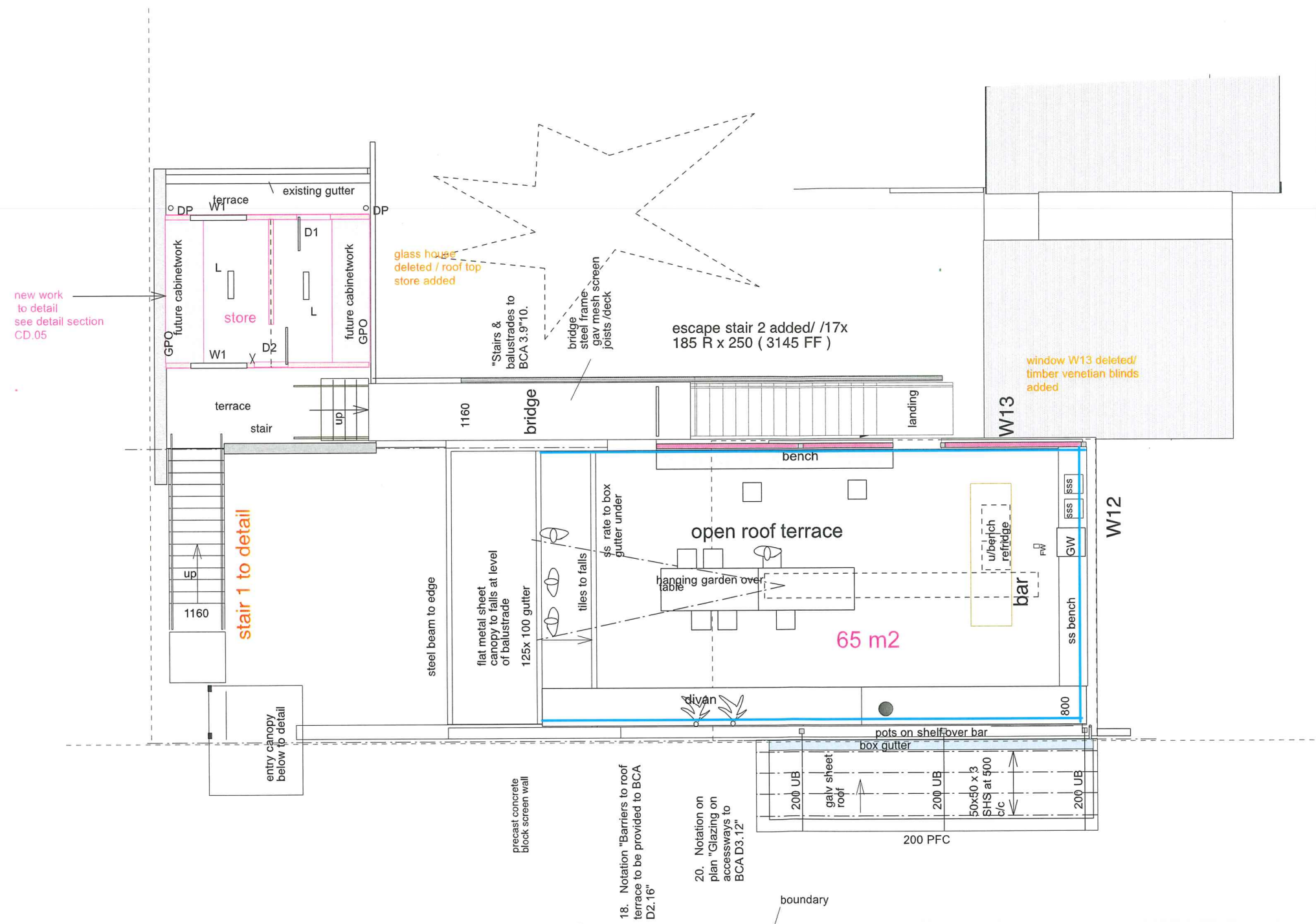
revisions
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ground floor plan(level 1) / commercial

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			scale 1/100
			CD .1



new work to detail see detail section CD.05

glass house deleted / roof top store added

"Stairs & balustrades to BCA 3.9"10.

bridge steel frame- gav mesh screen joists /deck

escape stair 2 added / 17x 185 R x 250 (3145 FF)

window W13 deleted / timber venetian blinds added

stair 1 to detail

65 m2

18. Notation "Barriers to roof terrace to be provided to BCA D2.16"

20. Notation on plan "Glazing on accessways to BCA D3.12"

level 2 floor plan / commercial

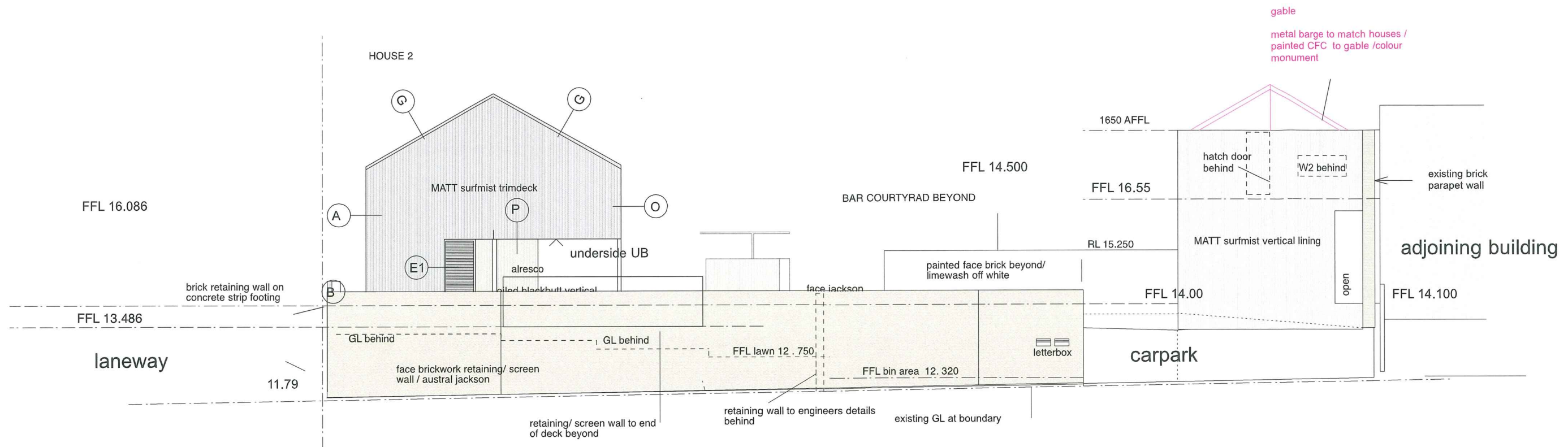
revisions 28/07/2022

glass house deleted / roof top store added

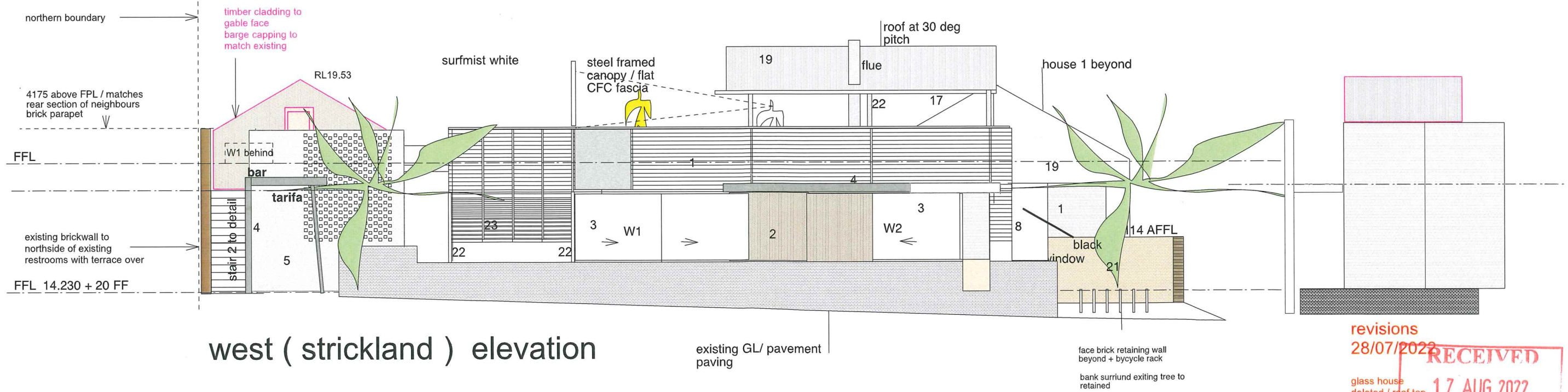
window W13 deleted / timber venetian blinds added

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			<p>scale 1/100</p>
			<p>CD .2</p>



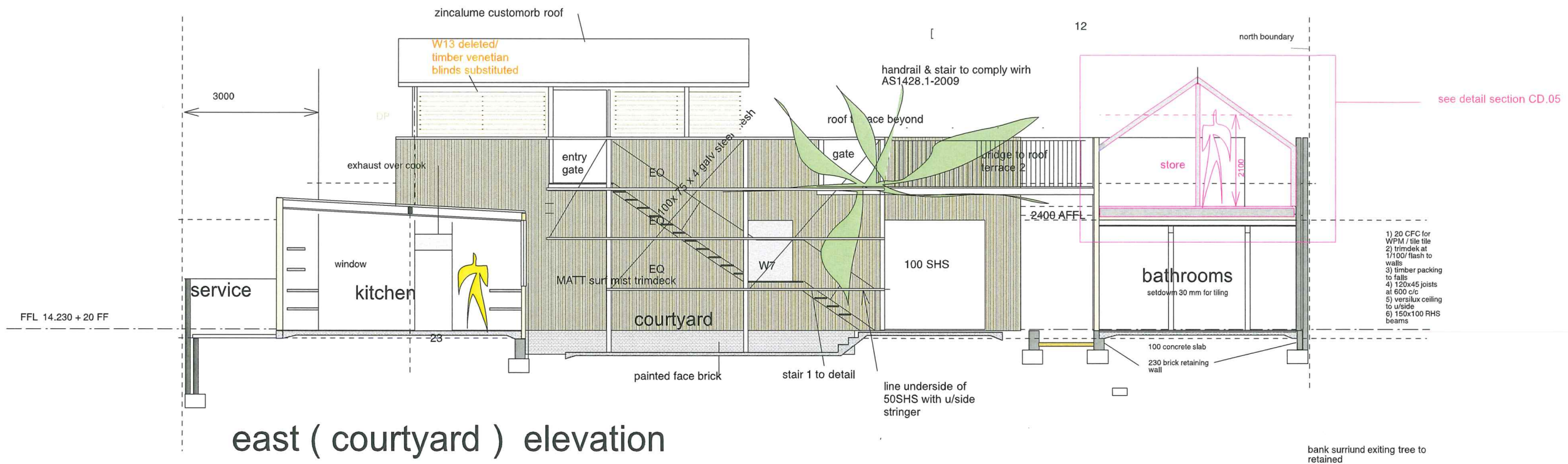
NE elevation (from rear carpark)



west (strickland) elevation

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		scale 1/100
		CD .3



east (courtyard) elevation

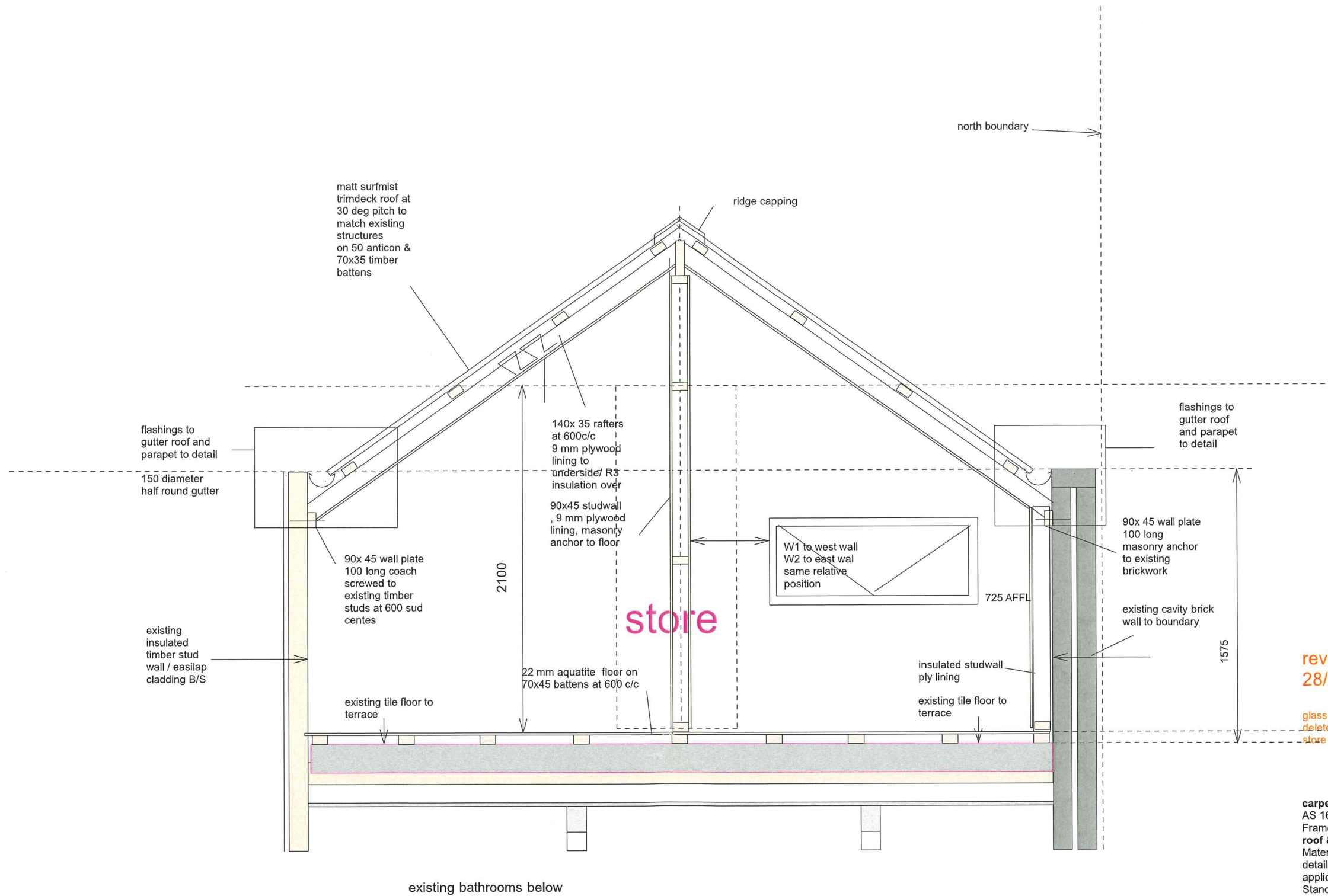
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window W13 deleted/
timber venetian blinds
added

glass house
deleted / roof top
store added

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		scale 1/100	
		CD .4	



detail section

revisions
28/07/2022

glass house
deleted / roof top
store added

carpentry
AS 1684 Residential Timber
Framed Construction
roof & roof plumbing
Materials, construction and
detailing to conform to all
applicable Australian
Standards including but
not limited to AS 2049, AS
3566, AS 3500, AS 1562.3

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		scale 1/25	
		CD .5	