

LOT 370

- ROAD LINK TO BE PROVIDED BETWEEN McLEAN ROAD AND KEARSLEY ROAD.
- POS ON LOTS 369 & 370 TO PROTECT STAND OF KARRI TREES IN SOUTH WEST CORNER OF LOT 370 AND THE NORTH - WEST CORNER OF 369.
- REMNANT VEGETATION AND MATURE KARRI TREES TO BE PROTECTED IN McLEAN LEAN ROAD RESERVE.
- LANDSCAPE BUFFER (RESIDENTIAL BUILDING EXCLUSION) CLEARANCE TO VINEYARD TO SATISFACTION OF DEPARTMENT OF ENVIRONMENT
- SUITABLE VEGETATION IS TO BE PLANTED AND PROTECTED WITHIN THE BUFFER TO INTERCEPT POTENTIAL SPRAY DRIFT FROM ADJACENT LAND USES
- DEVELOPMENT ENVELOPES ON NORTHERN LOTS TO ENSURE ADEQUATE SEPARATION FROM VINEYARD ACTIVITIES
- STRATEGIC FIREBREAKS TO BE DEVELOPED IN ACCORDANCE WITH AN APPROVED BUSH FIRE MANAGEMENT PLAN.
- LAND CAPABILITY ASSESSMENT TO BE CONDUCTED FOR LAND.
- FEATURE SURVEY OF THE LAND TO BE PROVIDED.

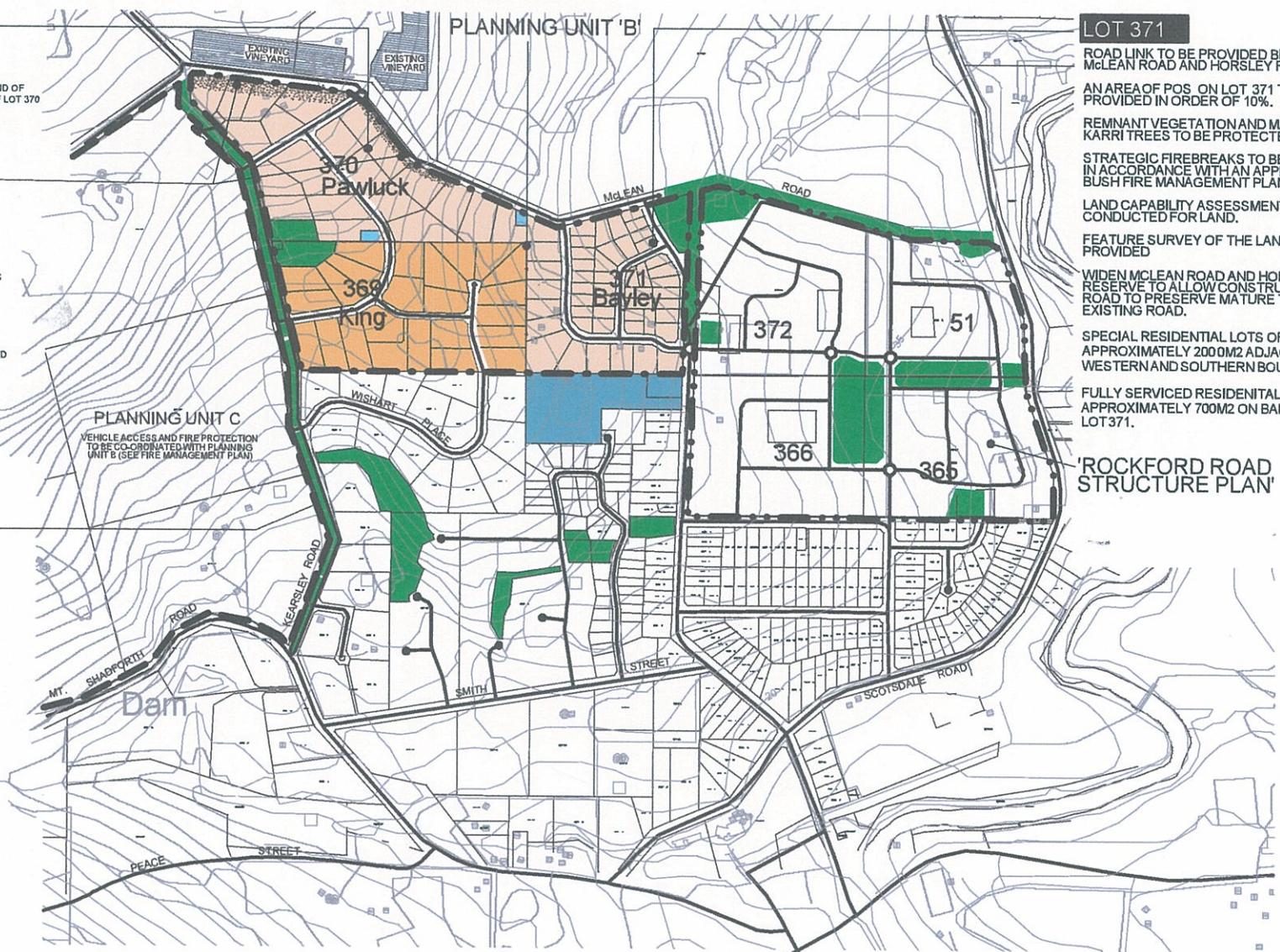
LOT 369

- KEARSLEY ROAD ALIGNMENT TO ENSURE RETENTION OF MATURE TREES WEST OF EXISTING SURVEYED RESERVATION.
- POS ON LOT 369 TO PROTECT THE STAND OF TREES IN THE NORTH WEST CORNER OF THE LOT
- ALTERNATIVE ROAD CONNECTION TO McLEAN ROAD IF REQUIRED.
- DEVELOPMENT ENVELOPES ARE REQUIRED ON SUBDIVISION GUIDE PLAN FOR LOTS ABUTTING THE EXISTING RESIDENTIAL LOTS TO THE SOUTH THAT HAVE FRONTAGE TO WISHART PLACE.
- REFER TO SUBDIVISION GUIDE PLAN FOR DETAIL.
- SUBDIVISION CRITERIA
 - Min. lot area 3000m² unless connected to scheme sewer.
 - Scheme Water.
 - On site effluent disposal systems.
 - Subdivision Guide Maps required with rezonings of each of lots 369, 370 & 371.

LOT 371

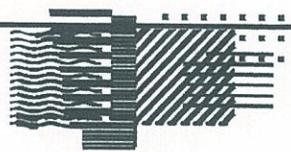
- ROAD LINK TO BE PROVIDED BETWEEN McLEAN ROAD AND HORSLEY ROAD.
- AN AREA OF POS ON LOT 371 TO BE PROVIDED IN ORDER OF 10%.
- REMNANT VEGETATION AND MATURE KARRI TREES TO BE PROTECTED.
- STRATEGIC FIREBREAKS TO BE DEVELOPED IN ACCORDANCE WITH AN APPROVED BUSH FIRE MANAGEMENT PLAN.
- LAND CAPABILITY ASSESSMENT TO BE CONDUCTED FOR LAND.
- FEATURE SURVEY OF THE LAND TO BE PROVIDED
- WIDEN McLEAN ROAD AND HORSLEY ROAD RESERVE TO ALLOW CONSTRUCTION OF ROAD TO PRESERVE MATURE TREES IN EXISTING ROAD.
- SPECIAL RESIDENTIAL LOTS OF APPROXIMATELY 2000M² ADJACENT TO WESTERN AND SOUTHERN BOUNDARY.
- FULLY SERVICED RESIDENTIAL LOTS OF APPROXIMATELY 700M² ON BALANCE OF LOT 371.

'ROCKFORD ROAD STRUCTURE PLAN'



SHIRE OF DENMARK - PLANNING UNIT 'B' WISHART PLACE STRUCTURE PLAN

PROJECT	CLIENT	DRAWN	ALTERNATION	DATE	APPROVAL
DATE	PLAN NUMBER	SCALE			
Feb 2006	05-16-21.WR	1:7500			
NORTH					



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