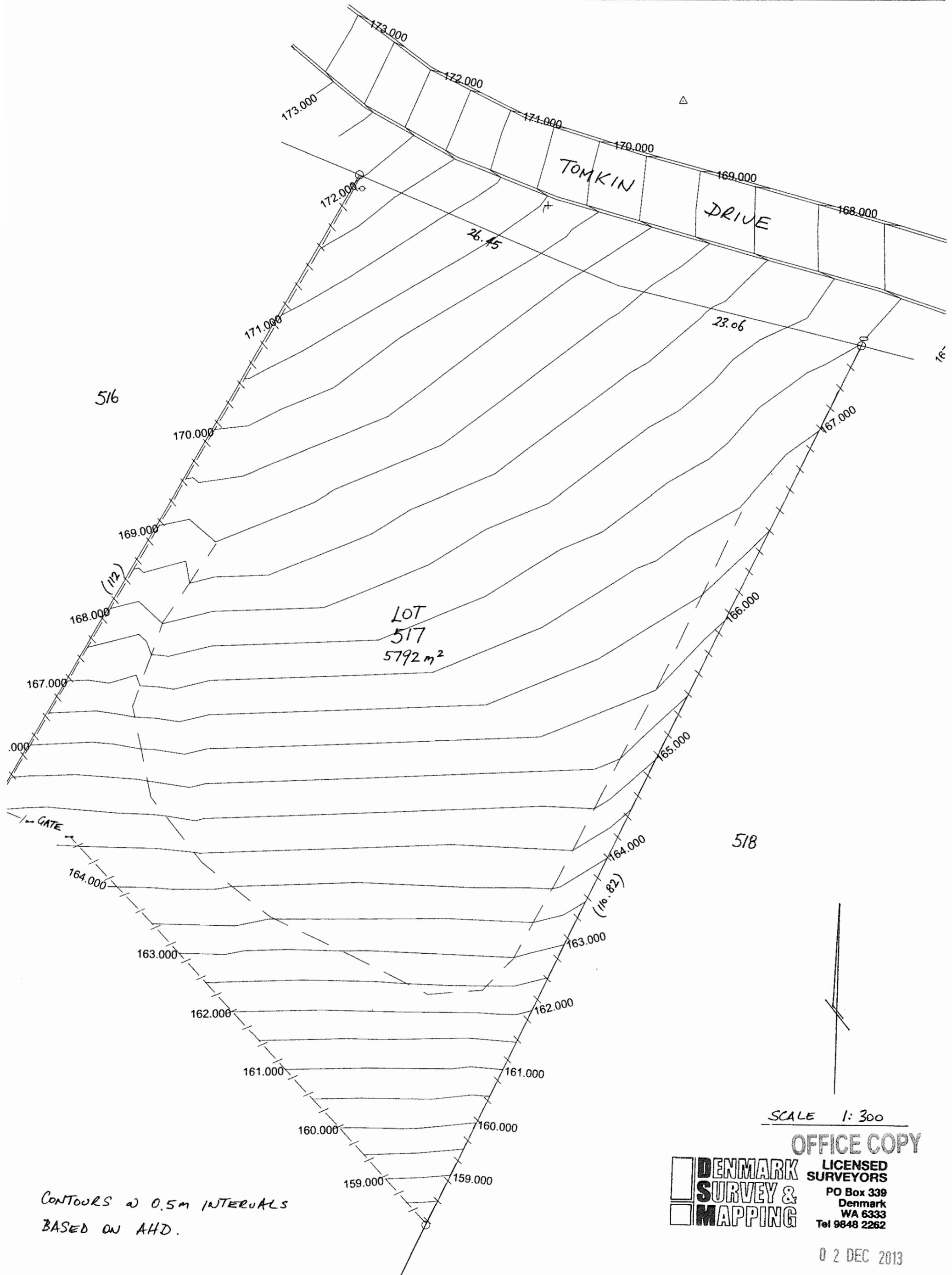


NATURAL GROUND CONTOURS BEFORE
EARTHWORKS ON LOT 517 TOMKIN DRIVE



CONTOURS @ 0.5m INTERVALS
BASED ON AHD.

**DENMARK
SURVEY &
MAPPING**

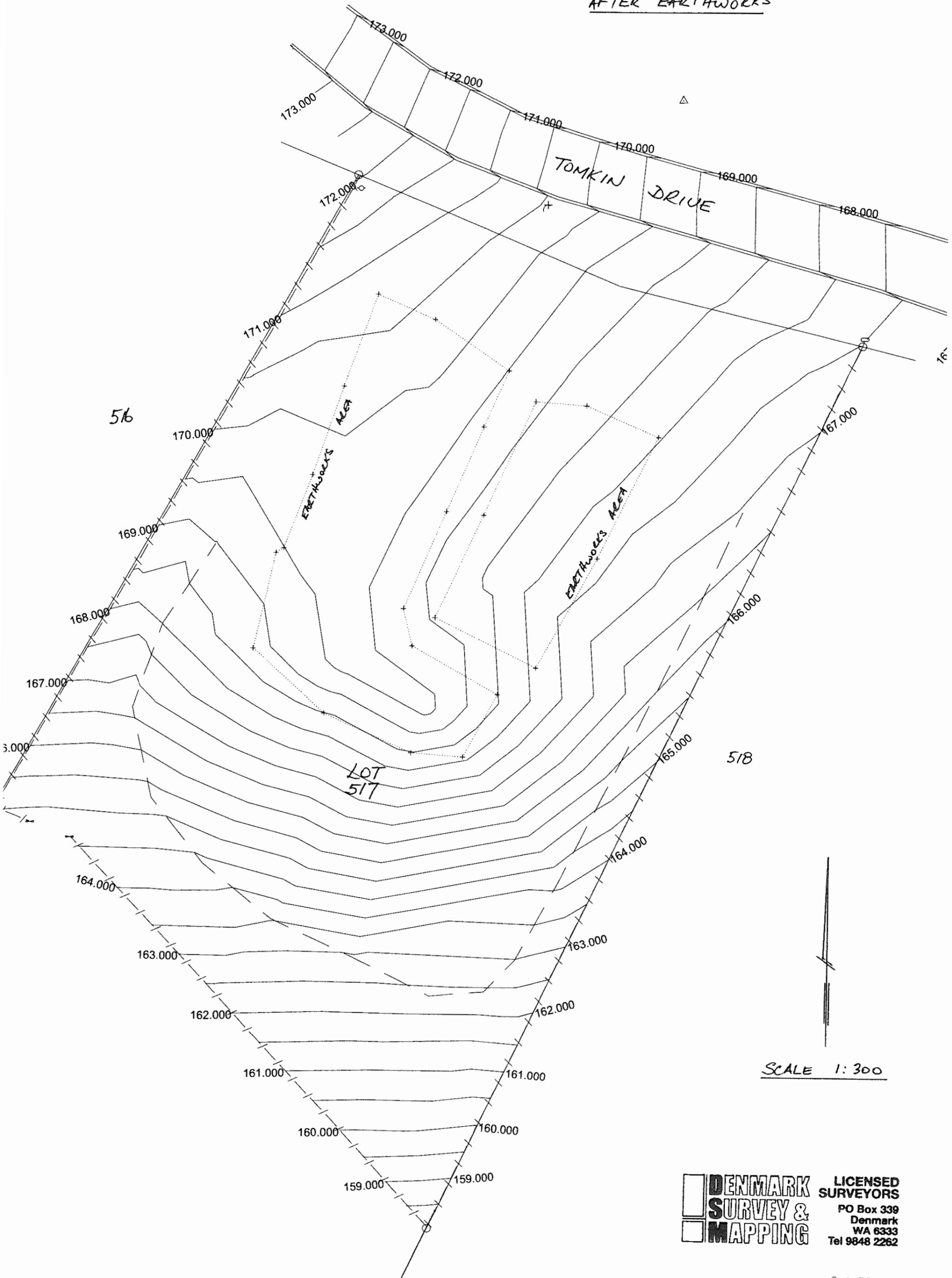
LICENSED
SURVEYORS
PO Box 339
Denmark
WA 6333
Tel 9848 2262

02 DEC 2013

SCALE 1:300

OFFICE COPY

CONTOURS @ LOT 517 TOMKIN DRIVE
AFTER EARTHWORKS



DENMARK
SURVEY &
MAPPING

LICENSED
SURVEYORS
PO Box 339
Denmark
WA 6333
Tel 9848 2262

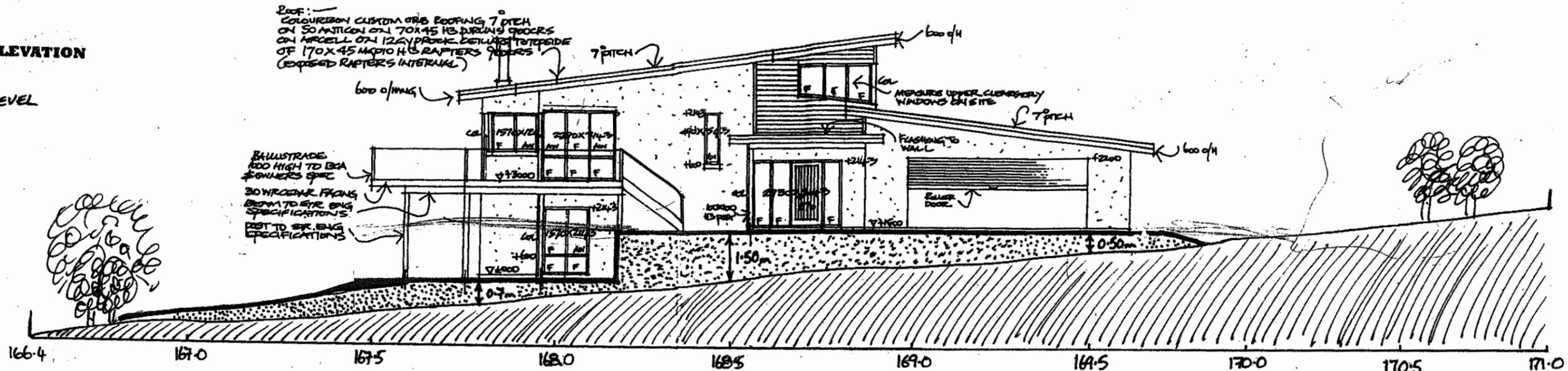
02 DEC 2013

NORTH ELEVATION

Scale: 1:100

 NATURAL GROUND LEVEL

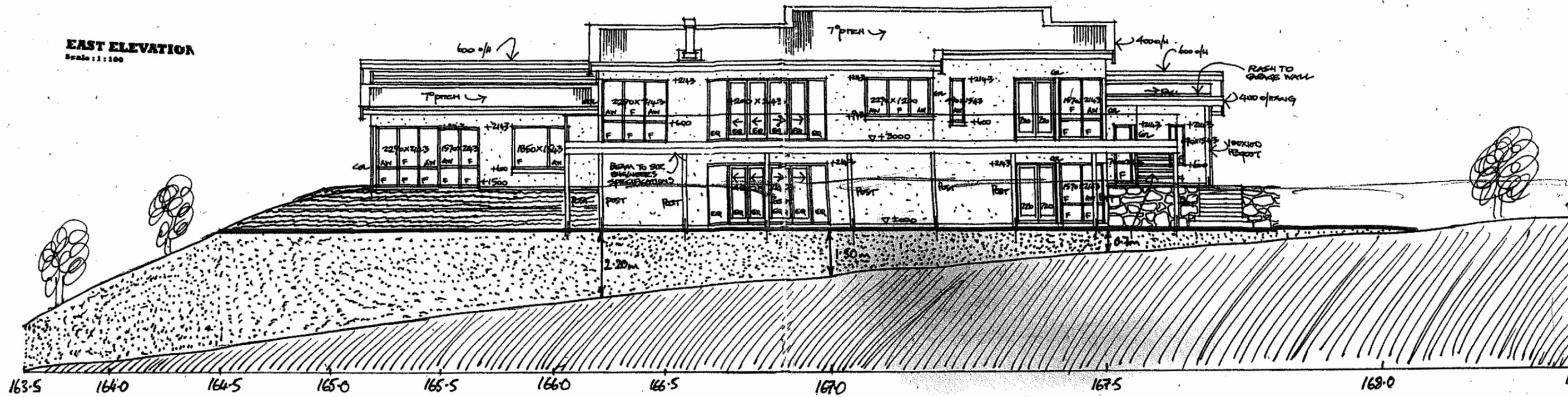
 SAND FILL



FINISHED SAND PAD LEVEL 170.0m
 FINISHED SLAB LEVEL 170.1m

EAST ELEVATION

Scale: 1:100



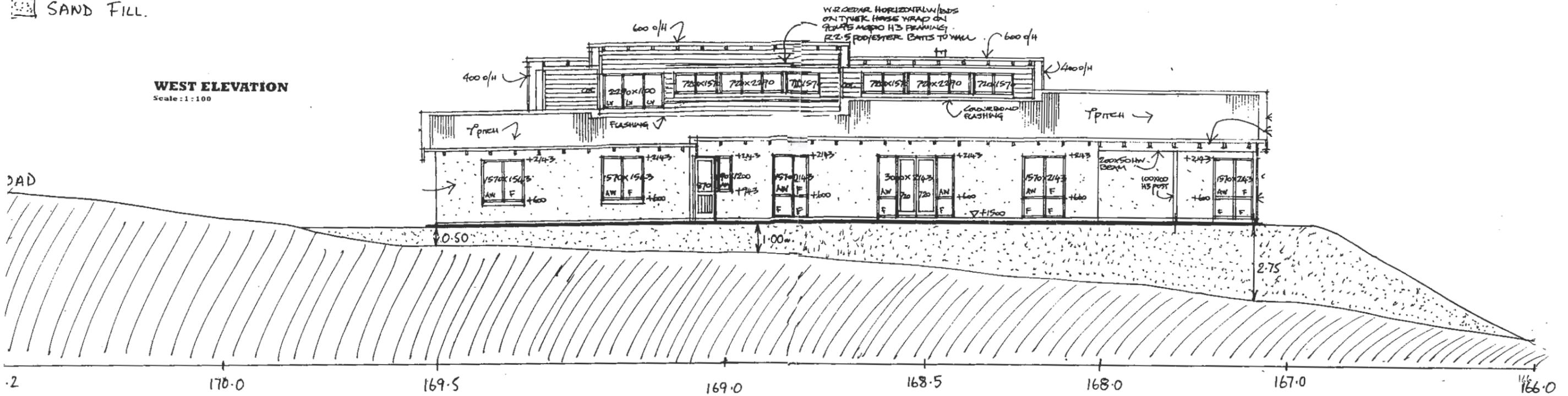
FINISHED LOWER SAND PAD LEVEL 168.5m
 FINISHED LOWER SLAB LEVEL 168.6m

OFFICE COPY 2 DEC 2011
PROPOSED RESIDENCE
WENDY PIKE
LOT 517 TOMKIN DRIVE
DENMARK W.A. 6333
 Date: 1 April 2013
 Designer: Hugh V Wilson
 Denmark Building Design
 P.O. Box 425 Hambleton WA W.A.
 Mobile: 944893375
 Copyright 2013

 NATURAL GROUND LEVEL

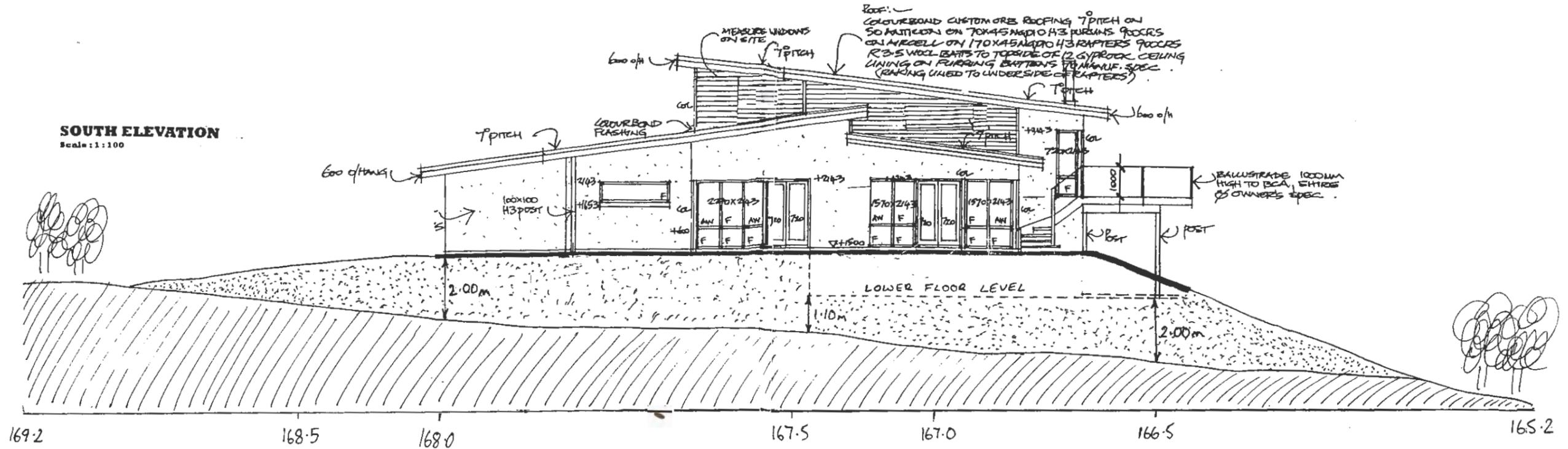
 SAND FILL

WEST ELEVATION
Scale: 1:100



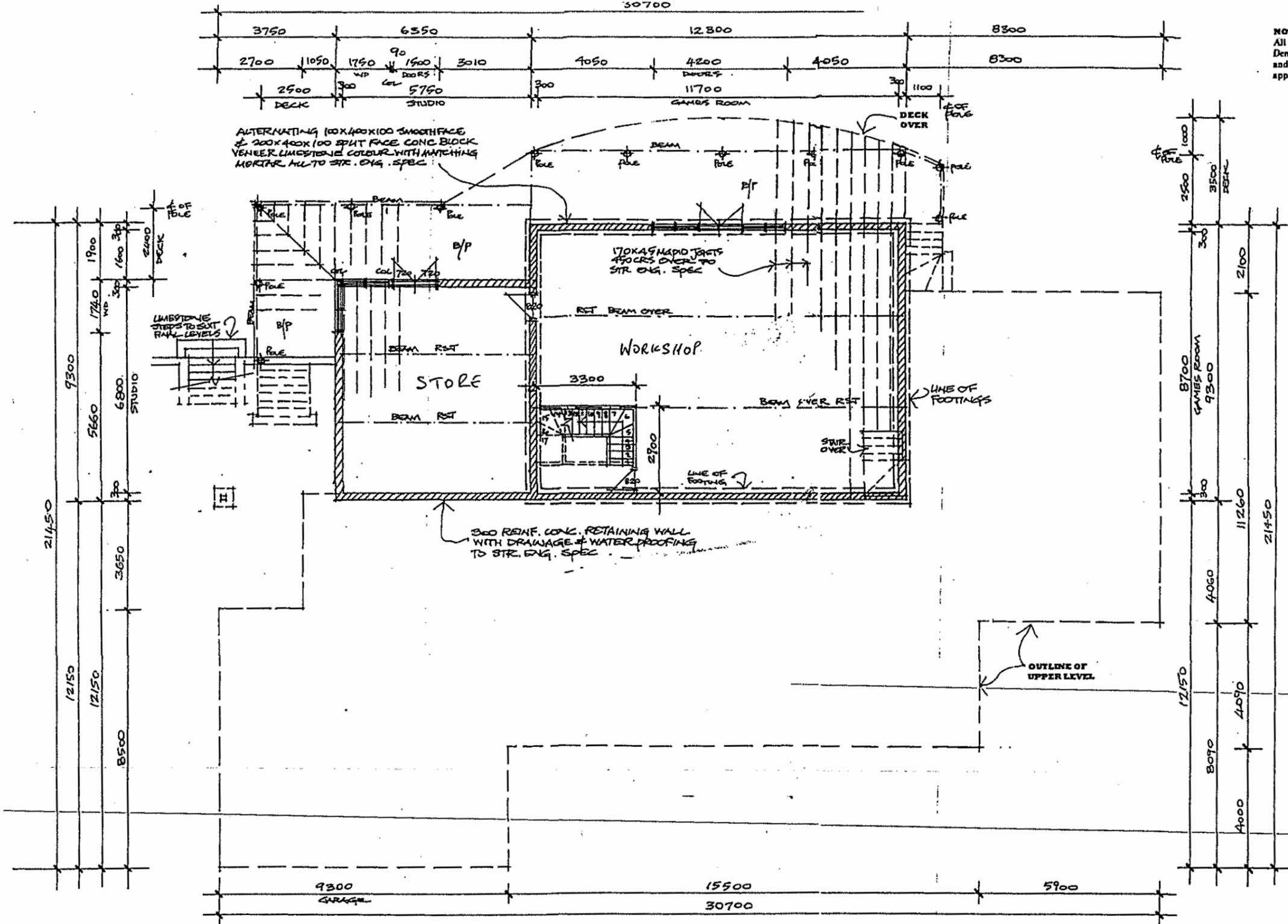
FINISHED SAND PAD LEVEL 170.0m
FINISHED SLAB LEVEL 170.1m

SOUTH ELEVATION
Scale: 1:100



FINISHED SAND PAD LEVEL 170.0m
FINISHED LOWER SAND PAD LEVEL 168.5m

PROPOSED RESIDENCE
WENDY PIKE
LOT 517 TOMKIN DRIVE
DENMARK W.A. 6333
Date: April 2013
Designer: Hugh V Wilson
Denmark Building Design
P.O. Box 489 Hamilton Hill W.A.
Mobile: 0488053575
Copyright 2013



NOTES:
 All recommendations of the Licensed Energy Rater where required by Denmark Shire Council, for frame type, glass type, glass thickness, and double glazing, must be followed by the window and door Manufacturer, applicable to a 5 Star Energy Rating and a Climate Zone 6.

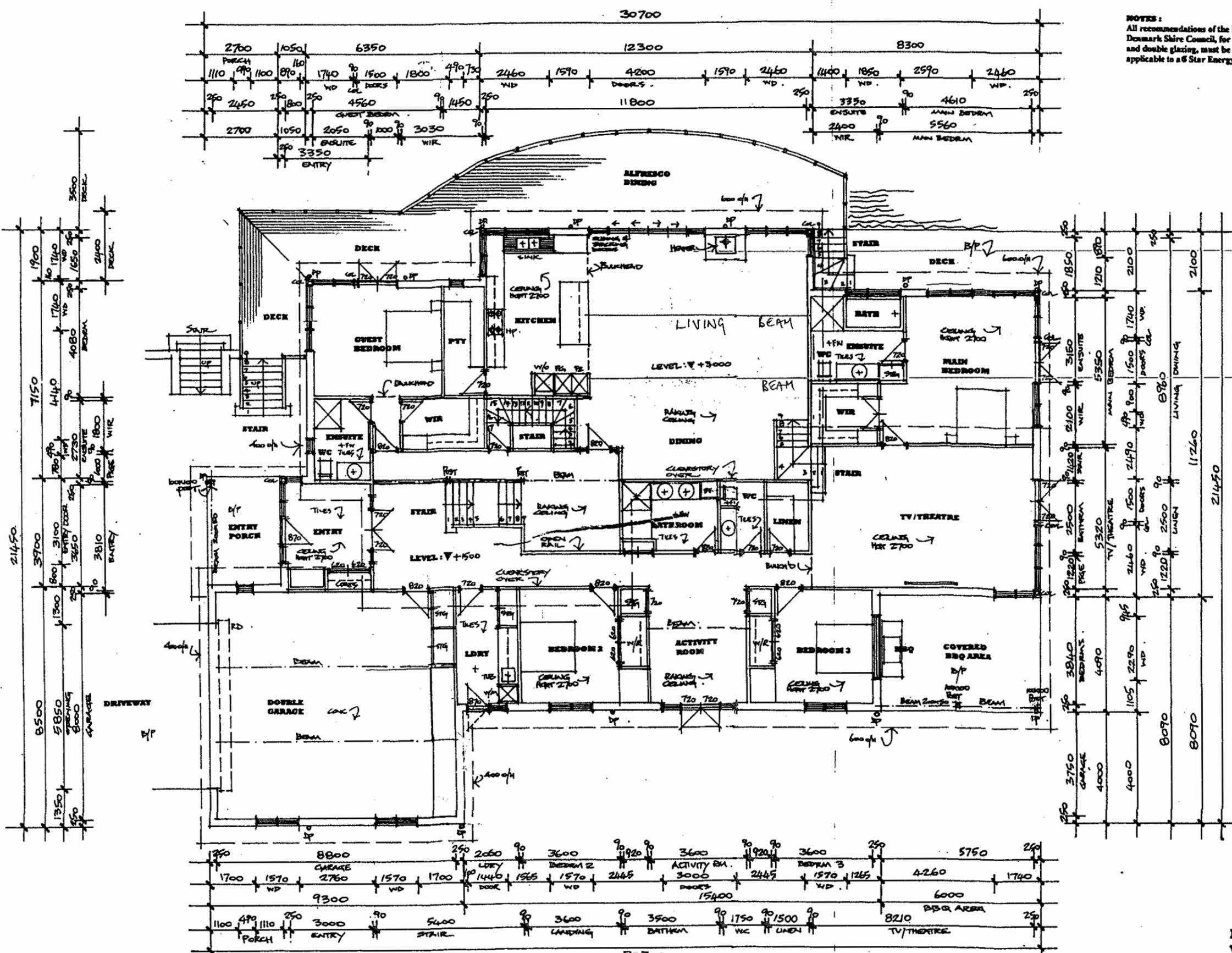
- NOTES:**
1. Allow to connect Proposed Residence, to telephone, data, power and water to Owner's spec & Denmark Council Regulations.
 2. Allow to install Septic Tanks and Leach Drains, to be sized, located, and installed to Australian Standards and Denmark Council Health Regulations.
 3. Fall all paved areas away from all buildings
 4. Provide Raven Door Seals and door Thresholds to all exterior doors to make draught proof and waterproof suited to exposed conditions all to be selected and installed to Manuf. Spec.
 5. All vehicular traffic areas to be laid in select heavy duty pavers in 45 degree Diagonal Herringbone pattern with soldier course border bedded in 75mm concrete all round.
 6. All pedestrian areas to be laid in select limestone pavers in 45 degree Diagonal Herringbone pattern with soldier course border bedded in 75mm concrete all round.
 7. All storm water sumps to be 900 diam PVC and to have min. 300 depth of blue metal in bottom of sump.
 8. Allow to paint all exterior timber including the Western Red Cedar horizontal weather boards and clear finished timber, with Sikkens to Manuf. Spec. posts, facings, bargeboards, roof battens and rafters.
 9. Allow for Western Red Cedar / Aluminium Awning Style Windows, with select powdercoat finish with matching AL Trim to corners and junctions, with flyscreens, chainwinders, flashings, and all necessary hardware to make watertight in exposed conditions.
 10. Sizes of all exterior Windows and Doors must be verified on site by the Manufacturer especially corner locations, the sliding and stacking doors and skylights, before commencing any shop fabrication.
 11. Entry Door to be 1no 870 door and to have D.D.JH frame ex175x50, ex175x50 JH bottom rail, ex125x50 JH top and side rails, with 80x12 JH T&G 45 degree V jointed paneling both sides, Sikkens clear finish.
 12. All internal Doors to be clear finished Split Maple Veneer, semi-hollow core or equal.
 13. Allow for Hot Dipped Galvanized 65x65x4 SHS corner Columns and columns generally, with matching AL / Cedar Trim as required.
 14. Allow for Stainless Steel "Antiqua-Technic" AISI 316 grade wire rope 7 strand 1000mm high Balustrade to BCA and AS STDS, to Upper Deck.
 15. Allow to grade files to floor wastes in WCs, Bathrooms, Laundry, and Ensuites.

FLOOR PLAN : LOWER LEVEL
 Scale : 1:100

- NOTE:**
1. Stairs to be enclosed and to have ex250x50 HW stringers and treads, number of risers to suit final floor levels.
 2. Allow to install sliding and stacking 6 panel door to Living to manufacturer's specifications. Check exact dimensions on site before commencing any Site works or shop fabrication. Provide all necessary hardware, flashings, door seals, recessed door tracks, flyscreens, matching trim to make watertight, weather proof, and draught proof to exposed location.
 3. Allow for "Antiqua-Technic" stainless steel 7 strand wire rope balustrade to upper deck 1000mm high all to BCA and Australian Standards.

NOTE:
 These drawings must be read together with the drawings and specifications of the Structural Engineer, Energy Rater, and other Consultants employed by the Client for this project

PROPOSED RESIDENCE
WENDY PIKE
LOT 517 TOMKIN DRIVE
DENMARK W.A. 6333
 Date : April 2013
 Designer : Hugh V Wilson
 Denmark Building Design
 P.O. Box 489 Hamilton Hill WA 6963
 Mobile : 0488033575
 Copyright 2013



NOTES:
 All recommendations of the Licensed Energy Rater where required by Denmark Shire Council, for frame type, glass type, glass thickness, and double glazing, must be followed by the window and door Manufacturer, applicable to a 6 Star Energy Rating and a Climate Zone 6.

FLOOR PLAN : UPPER LEVEL
 Scale 1:100

NOTE:
 These drawings must be read together with the drawings and specifications of the Structural Engineer, Energy Rater, and other Consultants employed by the Client for this project

PROPOSED RESIDENCE
WENDY PIKE
LOT 517 TOMKIN DRIVE
DENMARK W.A. 6333

Date: April 2013
 Designer: Hugh V Wilson
 Denmark Building Design
 P.O. Box 489 Hamilton Hill W.A. 6963
 Mobile: 0800839728
 Copyright 2013

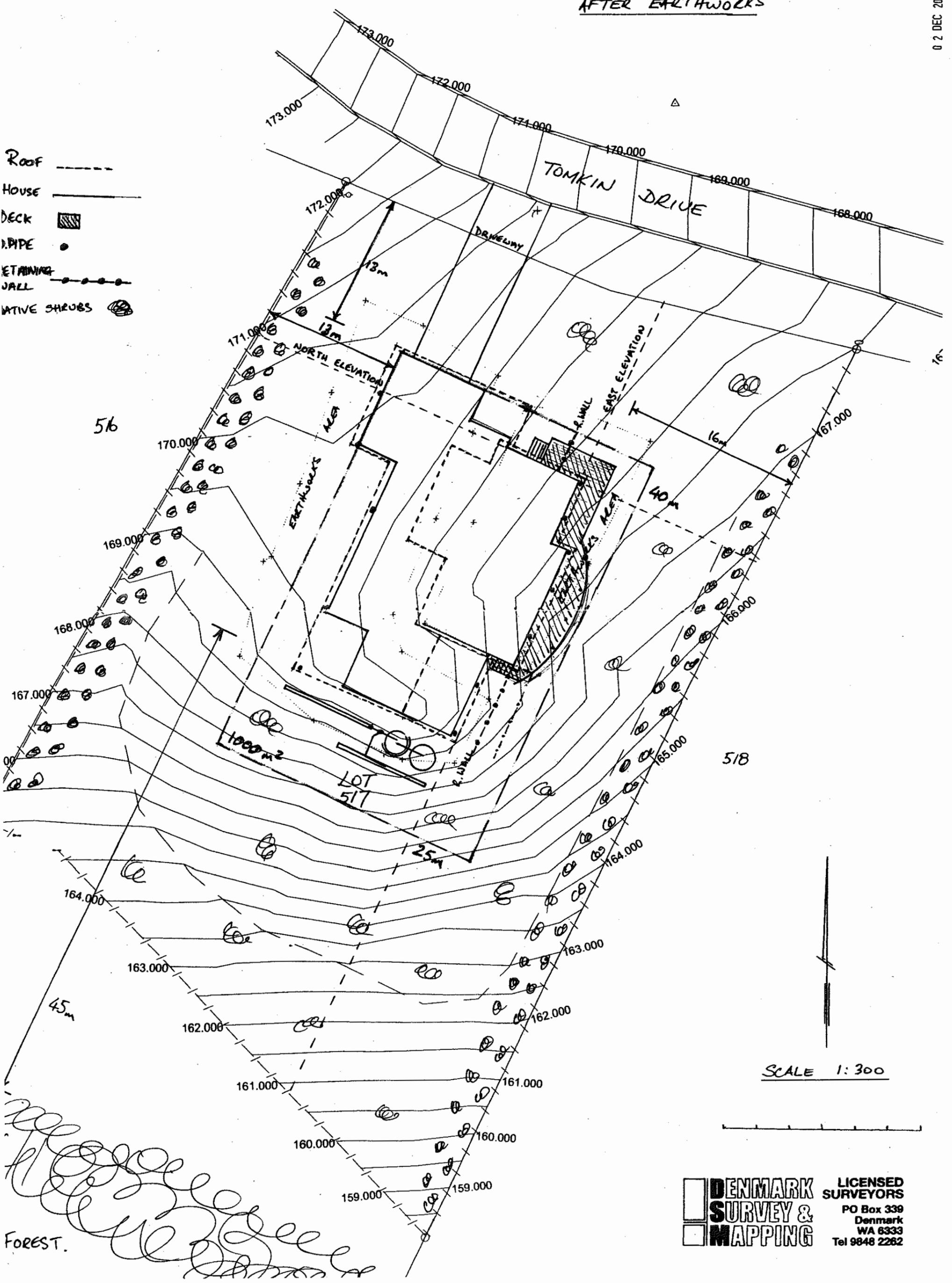
2 8 OCT 2013

2 3 OCT 2013

CONTOURS w LOT 517 TOMKIN DRIVE
AFTER EARTHWORKS

0 2 DEC 2013

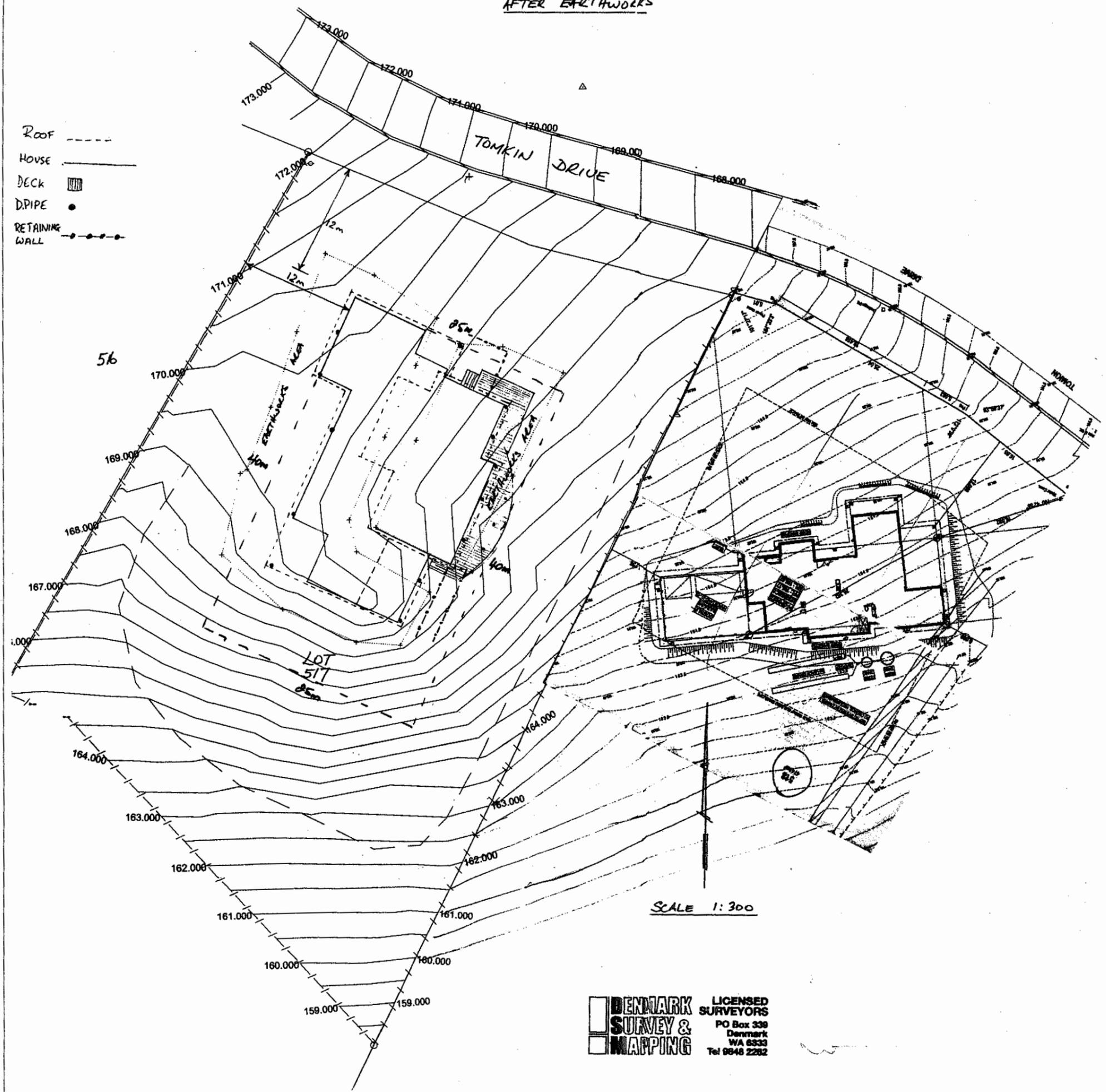
- ROOF -----
- HOUSE _____
- DECK [Hatched Box]
- R. PIPE ●
- RETAINING WALL [Dashed Line with Dots]
- NATIVE SHRUBS [Circle with Dots]



SCALE 1:300

DENMARK SURVEY & MAPPING
 LICENSED SURVEYORS
 PO Box 339
 Denmark WA 6333
 Tel 9848 2262

CONTOURS of LOT 517 TOMKIN DRIVE
AFTER EARTHWORKS



DENMARK
SURVEY &
MAPPING LICENSED SURVEYORS
PO Box 338
Denmark
WA 6333
Tel 9548 2282

SCHEDULE OF SUBMISSIONS: PROPOSED SINGLE HOUSE – NO. 11 (LOT 517) TOMKIN DRIVE DENMARK (2013/217; A4006)

Submission Number	Name & Address	Verbatim Submission	Planning Services Comment
1	<p>Details omitted as per Council Policy.</p> <p>Submitter is an adjoining landowner.</p>	<p>Thank you for your Letter Ref: A4006; (2013/217) from the 19/12/2013.</p> <p>Our Concern with this particular structure is, it is a Two-Story dwelling and if Approved for Building this would set Precedence here on this Estate.</p> <p>We are aware of other Buildings built here which are not single story, but are built at Road Level allowing the natural slope of land to build under and no one loses their view.</p> <p>The Owners at Lot 517 have not done that. There have put a huge amount of sand fill on top of the land to build it up.</p> <p>Not all of the Sand is visible anymore, because they covered it with Clay and grass has grown over it.</p> <p>Therefore, we strongly object for this dwelling to be a two or three-story Building.</p> <p>If it would be Approved that would mean, other Owners would want to build two or three story Dwellings on this Estate and a lot of us would lose our water views.</p> <p>The By-laws state: All residential buildings shall be <u>single story</u> except where it can be proven to Council that a variation to the height restriction would not adversely affect the visual amenity of the locality. c) <u>SPECIAL PROVISIONS</u></p>	<ul style="list-style-type: none"> • It is acknowledged that other dwellings approved with a second storey in the area have responded to the slope of the land by incorporating an undercroft level (with the appearance of a single storey from the road frontage). • The subject property slopes in two directions (south and east). Only portion of the dwelling is two storey (approximately 30% of the overall floor area) and it is considered the design does respond to the natural slope as it is proposed at a lower level to the rest of the dwelling, in line with the natural slope of the land at the western point of the two storey component, with fill creating a level surface to the east. The undercroft level is therefore visible from the front elevation given the dual slope of the land. • The main/upper floor of the dwelling not above the undercroft/lower level is classified as single storey albeit an overall height ranging from 5.0-6.0 metres). The wall height is compensated by the skillion roof which means that further height is not added to the building by way of a pitched roof. • In regards to precedent, this development is unique due to the nature of the slope running with the road and the illusion of a two storey for a portion of the dwelling/use of a skillion roof. • It should be noted that the protection of views is not a primary planning consideration, as views are a privilege, not a right. In saying this, consideration has been given to the overall effect of the development on the visual amenity of the locality.
2	<p>Details omitted as per Council Policy.</p> <p>Submitter is a nearby landowner.</p>	<p>PREAMBLE</p> <p>Since the purchase of our block there have been three significant constructions on Tomkin Drive. Firstly, a house has been constructed on Lot 529. The topography of that block was such that a very large amount of infill would have been required; a pole-home constructed (which may have been quite difficult to build); or the build that was actually done. The later seemed to be the only practical option. Despite the house being a pseudo two storey house it was built to have a single story aspect to both Tomkin Drive and Edwards Street. The lower level irfill is not totally</p>	<ul style="list-style-type: none"> • Whilst the Special Provisions do specify that buildings be single storey, they also provide the ability for landowners to seek approval for two storey dwellings by stating <i>“except where it can be proven to Council that a variation to the height restriction would not adversely affect the visual amenity of the locality.”</i> • It is acknowledged that the proponent does wish

out of character with other homes built in the Walnut Grove subdivision where the underparts of some pole homes have been enclosed.

Secondly, a single storey residence has been built on Lot 518, on the south side of Tomkin Drive, with the topography of the area maintained. The building appears to be well within a 1000 square metre envelope; with the sand pad being retained by a rock wall and constructed to keep the remaining area of the block with its original topographical characteristics.

Thirdly, a house is being constructed on our Lot 526. It is a single storey residence, with the 1000 square metre envelope being retained. The natural slope and topography of the remainder of the block is as it was at the time of the subdivision.

Most importantly, we are being asked to comment on a proposed building on Lot 517 which has already had very significant changes made to the landscape.

THE BASES OF OUR OBJECTION TO THE BUILDING PROPOSAL ON LOT 517 TOMKIN DRIVE DENMARK

The proposed building is not a single storey house.

Judging by the amount of sand already on the block, a significant part of the build has already been completed.

The building is not sympathetic to existing landscape elements and it detracts from the environmental quality of the area.

A two storey building on Lot 517 is likely to set a precedent for the construction of two storey houses on the remaining blocks in this locality. The visual and environmental impact would be adversely affected by any two storey buildings.

The proposed building is not a single storey house

From the preamble we have indicated that the recent buildings in Tomkin Drive are single storey residences; in accordance with the Special Provisions for this locality.

The existing residences on Lots 525, 527 and 512 are all single storey.

Having a two storey house constructed at Lot 517 would certainly adversely affect the visual amenity of the location and is very likely to set a precedent for future building in the locality.

The original landscape and topology of the block would have readily accommodated a single storey building. The landscape and topology

to develop to site to take advantage of the views to the east and north.

- It is acknowledged that the earthworks commenced prior to the planning application should not and Planning/Building Services addressed this issue with the landowners at the time. This planning application has been assessed having regard to the natural contours of the site and not the established level via the earthworks undertaken without the relevant approvals.
- The battering which extends outside of the building envelope has been deemed appropriate by Planning Services due to the significant slope of the site, the associated extensive amount of battering required to achieve a decent embankment graduation and it is considered that containing the battering within the building envelope would not allow the lot to be reasonably developed. Nevertheless, the proposed building and the sand pad are contained within the building envelope.
- It is acknowledged that the eastern elevation of the development, when driving up Tomkin Drive, will be visible as a two storey building. Whilst this is a consideration, this has been weighed up against a number of other factors, namely:
 - The northern elevation (facing Tomkin Drive) is proposed somewhat lower than the street level at its highest point.
 - It should also be noted that a previous development at No.16 (Lot 529) Tomkin Drive was supported by Council with a two storey elevation visible when driving up Edwards Street. This development, whilst different in that it was responding to only one slope, was unable to develop the undercroft behind the front of the property as the slope ran parallel with the road, similarly to the proposed development. Whilst the development at No.16 achieved the appearance of a single dwelling for the whole frontage onto Tomkin Drive, this is not possible for the proposed development as the slope runs with Tomkin Drive. The alternative to using the lower level

have been altered, for only what appears to be, to increase the views to the east and north.

Judging by the amount of sand already on the block, a significant part of the build has already been completed

From our own recent experience we are aware that the sand pad was part of the building proposal, and subject to building approval when the plans were presented to the Shire. We can only assume, therefore, our comments can include reference to that part of the proposal.

The reality is that the sand pad, a very significant part of a build, has already been completed on Lot 517. With the great amount of sand already deposited on the block the original landscape and visual amenity of the locality has already been significantly altered.

The sand already on Lot 517 seems to have been deposited with a two storey residence in mind as it is clearly the same as that presented on the plans for approval.

Although we appreciate the cost involved with having this sand delivered and compacted, our objection is that this should not be a consideration when a ruling is made on this matter as it will set a precedent for anyone else building in this area to alter the features of the land to suit themselves, prior to the Shire of Denmark approval.

The Elevation plan seems to suggest that the sand fill will spill down both the eastern and southern slopes, which significantly alters the topography of the land. From the plans provided for comment, containment of the building envelope appears to have been ignored.

The building is not sympathetic to existing landscape elements and it detracts from the environmental quality of the area

The provisions relating to building in this area include the visual amenity of the locality; environmental considerations; the topography of the locality; and buildings being sympathetic to the existing landscape.

Other houses built, or being built, in Tomkin Drive have adhered to the building requirements for this locality.

Lot 518 was the first house on the south side of Tomkin Drive to be built on (other than the original homestead); and the forest area to the south has kept its desired visual and environmental impact.

for an additional storey to the dwelling would be to use more fill to create a level sand pad from the higher point of the site.

In light of these factors it is considered that on balance the proposal is appropriate and in keeping with the kind of development Council has previously supported.

- In regards to precedent, this development is unique due to the nature of the slope running with the road and the illusion of a two storey for a portion of the dwelling/use of a skillion roof. Any subsequent application for a two storey dwelling would be assessed on its merits against the Special Provisions.
- The protection of views is not a primary planning consideration, as views are a privilege, not a right. In saying this, consideration has been given the overall affect of the development on the visual amenity of the locality.

The visual impact of a two storey building on Lot 517 would be significant; especially looking from the east – as you drive/walk westward up Tomkin Drive.

Looking from the east there would basically be a 21.5m x 5.8m wall of brick and glass (using the scale on the Elevation plan) or 28.5m x 5.8m (using the scale on the Contours plan) above the sand pad. This, combined with the steep slope of Tomkin Drive would have a horrendous impact on the visual amenity of the locality; being completely out of character with the existing homes.

A two storey building on Lot 517 is likely to set a precedent for the construction of two storey houses on the remaining blocks in this locality. The visual and environmental impact would be adversely affected by any two storey buildings.

Existing owners in this locality have attempted to maintain the integrity of the conditions for building in this locality; and the visual amenity of the location.

Along the ridge of Tomkin Drive the blocks on either side of the road provide buyers/owners with two possible outlooks (views) which were very obvious prior to the purchase of the block.

The blocks on the north side of Tomkin Drive drop away toward Peace Street and provide single storey residences with vistas of varying composition of the Wilson Inlet through to the Porongorups. There is the forest to the south; with possible coastal glimpses.

On the south side of Tomkin Drive the blocks drop away towards the southern forest. A single storey residence here would have a good view into the forest and possibly the distant south coast. There could possibly be Wilson Inlet glimpses. The northern outlook would be between houses on the north side of Tomkin Drive with glimpses around to the Porongorups.

To request the building of a two storey residence on the south side of Tomkin Drive, with the proposed main two storey feature facing east, and or north, is to be building specifically for the views which can be attained by building a single storey residence on the north side of Tomkin Drive.

The two storey building proposed for Lot 517 Tomkin Drive is either the wrong house for the block; or the wrong block for the house. Either way, it will detract from the current ambience of the locality; set a very indefensible precedent for others who wish to do the same; and alter the original special provisions relating to this area to the extent that a significant number of the provisions will be violated and the special

		<p>provisions themselves rendered almost meaningless.</p> <p>CONCLUSION We ask that any proposed two storey building for Lot 517 not be approved by the Shire of Denmark.</p>	
3	<p>Details omitted as per Council Policy. Submitter is a nearby landowner.</p>	<p>Objection to proposed two storey residence at Lot 517 Tomkin Drive Denmark</p> <p>Thank you for giving us the opportunity to raise our objection to this proposal. However, I would like it recorded that seeing that this proposal is going to greatly affect us, I would have thought we would have been timely informed of this proposal directly from yourself, rather than having to initiate this opportunity myself after being informed by an adjoining neighbour.</p> <p>Regarding our reason for objection.</p> <p>When we purchased our block, we were obliged to sign the document “Special Provisions relating to Mt. Shadforth Road Special Residential - Pt Lot 340 Mt. Shadforth Road” that we would abide by the conditions included within this document. We, as every other owner of land in this development, had to sign our acceptance of these conditions of sale as part of the purchasers agreement that was attached to the Offer and Acceptance Document in Annexure “A” paragraph 3 which stated:-</p> <p>“I/We agree that we have been made aware of, accept and agree to comply with the Shire of Denmark Town Planning Scheme No 3, related to lot 430 Mt. Shadforth Road, Denmark, as attached hereto.”</p> <p>Consequently we bought our block and constructed our house on the understanding that all land owners in the development would similarly have to comply with the same rules and conditions.</p> <p>When considering our building design, we were categorically informed by the Denmark Shire representatives at the time that no two storey houses would be permitted in the development. Even to the extent that any configuration that could be construed as two storey, such as a car parking facility underneath, would not be approved. This can be verified by our builder and by previous owners of blocks in the development and probably by other builders.</p> <p>On that basis we accepted the council's determination and built a single storey home with a great added expense for land fill and expected that all other owners would have to abide by the same council rulings.</p>	<ul style="list-style-type: none"> • Noted that initial consultation did not extend to this landowner. Planning Services makes a call on each application that requires neighbour referral as to how far out the referral should go. Whilst referral to immediate neighbours is standard for such a development, it is noted that in this case due to the slope of the area that more properties may have had the potential to be impacted by the development. After the landowner made contact with Planning Services, a copy of the plans and request for comments was provided to this landowner. • The Special Provisions relating to the “Special Residential (SRes 4)” zone have always stated that “<i>All residential buildings shall be single storey except where it can be proven to Council that a variation to the height restriction would not adversely affect the visual amenity of the area.</i>” <p>Unfortunately without written record, Planning Services cannot confirm that advice was given that no two storey houses would be permitted, particularly in light of the current Scheme Provisions providing the ability for landowners to apply for two storey proposals.</p> <ul style="list-style-type: none"> • As commented in response to the submissions above, the protection of views is not a primary planning consideration, as views are a privilege, not a right. In this instance, Planning Services note that there is not a habitable room or outdoor living area associated with the objector's dwelling that would overlook the proposed dwelling.

We were therefore expecting single storey residences, as specified in the document quoted, to be constructed on the blocks surrounding and adjacent to our lot.

In this manner, all owners could enjoy the benefits of the surrounding aspects of the outlook and not expect to be "blocked out" by a two storey house.

We are therefore extremely disappointed that this proposal is even being considered when it will obviously adversely affect the visual amenity of the locality and specifically completely block out our view of the ocean which we value greatly and was one of the beneficial factors considered in our decision to purchase and build in this development.

This house is a straight two storey proposal and in no way can it be construed in any other way such as being viewed as a single storey building from the street frontage and so therefore contravenes the applicable paragraphs within the above mentioned document.

Specifically in this document under Special Provisions.

Part 4 (iv) b) "the location of the building will not detract from the environmental quality of the area or from the amenity of adjoining residences."

and

Part 4 (ix) c) "All residential buildings shall be **single storey** except where it can be proven to Council that a variation to the height restriction would not adversely affect the visual amenity of the locality."

This application is clearly a deliberate and obvious self interest attempt to breach both of these conditions and should not be allowed to proceed in this form. It clearly restricts other owners views of the environment and allows an unwarranted second storey in an area where they are not supposed to be allowed. The height of this proposed home will be an eyesore to surrounding residents and will be visually detracting from the surrounding rural setting. All surrounding homes are built as single storey and this proposed home is completely out of character with these surrounding homes and adversely affects those residence who have complied with this planning scheme and built "single storey" homes.

This application is a blatant abuse of the conditions that were signed by all land owners in this subdivision and therefore must not be allowed to be constructed in this form. It purely benefits the owners to the detriment of all other surrounding land holders and the precedent that would be set by it's approval, will lead to further detriment to existing owners.

As land owners who were made to comply with these conditions we expect

		<p>the same conditions to be maintained on all other building proposals in this development.</p> <p>Why now has this been condition been overlooked? Surely the rules are meant for all members of the development community not just those who choose to challenge or ignore them.</p> <p>If this house was built as a single storey residence then all parties could be accommodated amicably. This proposal is going to aggrieve neighbours in the immediate vicinity by firstly the deliberate unauthorised building up of the land height by dumping a mass of sand on the natural ground level, and then by building a house that is going to detrimentally change the visual aspects for all surrounding land owners.</p> <p>Finally we would formally like to lodge our strong objection to this proposed two storey residential building at No. 11 (Lot 517) Tomkin Drive Denmark and request that you refuse this application in it's current form and maintain a consistent application of a set of standard conditions that were accepted by all land owners in the subdivision at the time of purchase.</p> <p>You might like to consider how you would feel yourself if this sort of action happened to you when you made plans on what you were told would apply to all residents in the development and then they are not.</p>	
--	--	---	--

Hi Marieke

Thank you for giving me your time earlier this week. It helped me a lot by showing you how I expect my planned house will look and why I need to add the extra half storey on to it.

As you can see it is a tricky block to build on.

Not only does it slope away from the road, it also slopes down the hill towards the neighbouring block.

To reduce the impact of the house, we have decided to use a skillion roof.

This keeps the height of the house to only 4.5meters when you look at it from down the hill, and from the road at the highest point of the sand pad.

It is was necessary that we made the design of the house a 1.5 storey, so that we would be able to see over the neighbouring roof top, and improve the glimpses of the inlet, as this was the sole purpose of buying the block originally.

The proposed building does not impose on the house below (as per diagram supplied), as there is only the garage and no windows on the West side of the house.

Any future housing and the already constructed houses will not have any of their views blocked out by the house as the majority of it is of a height of 4.5meters.

The roof will be made from Colorbond and in the colour surf mist, which has also been used in the local neighbourhood.

The building itself will be constructed with Boral blocks that are of a carbon colour.

The extensive planting of local trees and shrubs was started over 1 year ago along both neighbouring fences.

Regards

Adrian Bahr



SITE VISIT RECORD FORM

Subject Site: No.11 (Lot 517) Tomkin Drive, Shadforth WA 6333

Date: 20 February 2014

By Whom: Senior Town Planner Marieke de Vries Senior Town Planner

File Ref: A4006 (2013/217)

1. Aerial of site.



2. View of site from Tomkin Drive.



3. View to Tomkin Drive from subject property.



4. View looking east. First image illustrative of FFL lower than street level.





5. Battering and natural slope to the rear.



6. Battering/natural slope eastern side.



7. View from rear of property (eastern side).



8. Example of development with two storey elevation onto street. The development responds to the natural slope of the land, with the Tomkin Drive elevation appearing as a single storey (with FFL below street level).

